



BP0774404

PGS:

36

After recording, please return to:
Gray B. Taylor, Esq.
Buist Byars & Taylor, LLC
652 Coleman Boulevard, Suite 200
Mt. Pleasant, SC 29464
1358.0117

Please cross-reference to Master Deed recorded at:

Book A144, Page 151

STATE OF SOUTH CAROLINA)
)
)
)
COUNTY OF CHARLESTON) **FIRST AMENDMENT TO
MASTER DEED FOR PELICAN COVE
HORIZONTAL PROPERTY REGIME**

THIS FIRST AMENDMENT TO MASTER DEED FOR PELICAN COVE HORIZONTAL PROPERTY REGIME (this "First Amendment") is made this 17th day of January, 2019, by **The Pelican Cove Horizontal Property Regime** (the "Regime"), and the **Pelican Cove Owners Association Inc.**, a South Carolina Corporation (the "Association").

BACKGROUND STATEMENT

Whereas, the Association previously made, submitted and established the Master Deed of Pelican Cove Horizontal Property Regime, dated March 7, 1985 and recorded March 20, 1985, in Book A144, Page 151, of the RMC Office for Charleston County (the "Master Deed"); and

Whereas, pursuant to Article VI of the Master Deed, the period of Declarant control has expired; and

Whereas, pursuant to Article XI of the Master Deed, the Association, along with Sixty-Seven Percent (67%) of the Co-Owners providing an affirmative vote, may amend the Master Deed; and

Whereas, this First Amendment is executed by the Regime and the Association, following the affirmative vote and consent of 100% of the Co-Owners, as evidenced by the attached Certification; and

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS, pursuant to the powers reserved under the Master Deed as set forth above, the Association hereby amends the Master Deed as follows:

1. **Definitions.** Any capitalized term used in this First Amendment and not defined herein shall have the definition set forth in the Master Deed.
2. **Amendment.** Exhibit "C" of the Master Deed shall be amended to include Exhibit "C" attached to this First Amendment, specifically as it relates to those certain units identified as "Unit 35A," "Unit 35B," "Unit 35C," and "Unit 35D," Brockman Drive, Charleston, South Carolina, and more particularly described in the Master Deed.
3. **Construction.** Except as set forth in this First Amendment, the Master Deed shall remain in full force and effect, and any ambiguity between this document and the Master Deed must be resolved in favor this First Amendment.


[Signatures on following pages]

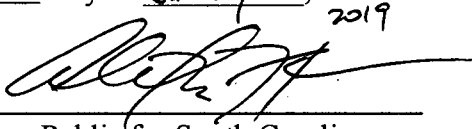
CERTIFICATION

CERTIFICATION OF THE VOTE OF THE MEMBERS OF PELICAN COVE OWNERS ASSOCIATION, INC., TO AMEND THE MASTER DEED OF PELICAN COVE HORIZONTAL PROPERTY REGIME.

Personally appeared before me Charles Robert Davis, President for the Association known as the Pelican Cove Owners Association, Inc., who, being duly sworn, alleges and states as follows:

1. I am the duly elected President of the Pelican Cove Owners Association, Inc., a South Carolina non-profit corporation.
2. I am over twenty one (21) years of age and make this Affidavit on my own personal knowledge.
3. On Nov. 14, 2018, there occurred a meeting of the members of the Pelican Cove Owners Association, Inc.
4. At that meeting, and/or prior to the meeting by written consent of the members, 100% of the Co-Owners of the Property voted to amend to the Master Deed as set forth in the First Amendment.
5. I am authorized to certify the vote of the membership pursuant to the Master Deed of the Pelican Cove Horizontal Property Regime, and I certify the vote to have been as stated herein, and
FURTHER THE AFFIANT SAYETH NOT.


By: Charles Robert Davis
Title: President of the Pelican Cove Owners Association, Inc.

SWORN TO BEFORE ME THIS
17th Day of January, ~~2018~~
2019

Notary Public for South Carolina
My Commission Expires: 02-22-2026

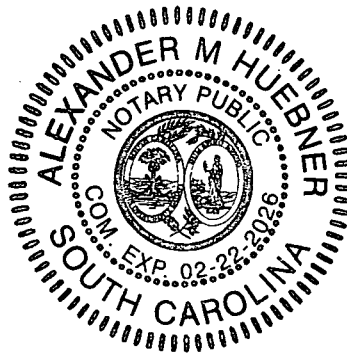


EXHIBIT "C"

**Site Plan, Architectural Plan, Elevations and Floor Plans
of Pelican Cove Horizontal Property Regime Specific to 35 Brockman Drive, Units 35A, 35B,
35C, and 35D**

APPLICABLE SECTION	DESCRIPTION OF VARIANCE	SUBMITTAL DATE	APPROVAL DATE

UNITS 35A, 35B, 35C, 35D

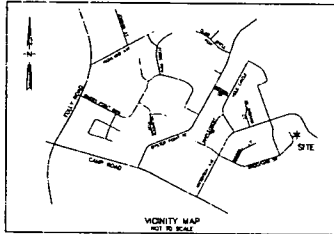
PELICAN COVE HORIZONTAL PROPERTY REGIME

No. 35 BROCKMAN DRIVE - CREEK POINT SUBDIVISION

TMS# 425-11-00-138, -264, -265, -266

CITY OF CHARLESTON

CITY PROJECT ID# : TRC-SP2017-000041



APPROVAL
 VARIANCE FOR FURNISHING SAFETY RELATED TO
 THE PRELIMINARY APPROVAL GRANTED ON

CITY OF CHARLESTON
TRAFFIC & STREET NAME SIGN STANDARDS

TRAFFIC SIGNS SHOULD BE DESIGNED AND PLACED IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS (MUTCD) PUBLISHED BY THE FEDERAL DEPARTMENT OF TRANSPORTATION.

NON TRAFFIC RELATED SIGNS SHOULD BE APPROVED BY THE DEPARTMENT OF UTILITIES, PUBLIC SAFETY AND COMMUNITY DEVELOPMENT FOR ESTABLISHED REGULATORY, WARNING AND OTHER SIGNS SHALL BE FABRICATED WITH A FINISH IDENTICAL TO THE FINISH OF THE CITY OF CHARLESTON'S TRAFFIC SIGNS.

TRAFFIC SIGNS FABRICATED BY THE DEPARTMENT OF UTILITIES, PUBLIC SAFETY AND COMMUNITY DEVELOPMENT SHALL BE FABRICATED WITH A FINISH IDENTICAL TO THE FINISH OF THE CITY OF CHARLESTON'S TRAFFIC SIGNS.

TRAFFIC SIGNS FABRICATED BY OTHER CONTRACTORS SHALL BE FABRICATED WITH A FINISH IDENTICAL TO THE FINISH OF THE CITY OF CHARLESTON'S TRAFFIC SIGNS.

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SHEET INDEX

- C001 - EXISTING SITE TOPOGRAPHIC & TREE SURVEY
- C002 - REFERENCE PLAT (ROD PLAT BOOK 88 PAGE 32)
- C003 - PELICAN COVE HORIZONTAL PROPERTY REGIME (ROD DEED BOOK A144 PAGE 188)
- C004 - BZA APPROVAL
- C100 - DEMOLITION & EROSION CONTROL PLAN
- C200 - SITE PLAN
- C300 - GRADING PLAN
- C400 - UTILITY & FIRE PROTECTION PLAN
- C500 - CIVIL DETAILS
- C501 - CIVIL DETAILS
- C502 - CIVIL DETAILS
- L100 - LANDSCAPE PLAN
- L101 - PLANT SCHEDULE AND DETAILS
- A4.10 - FRONT AND REAR ELEVATIONS
- A4.11 - LEFT AND RIGHT ELEVATIONS

TRAFFIC CONTROL PLAN NOTES

- 1. SIGN DESIGN SHALL BE IN ACCORDANCE WITH THE MUTCD.
- 2. ALL TRAFFIC CONTROL SIGNS SHALL BE MOUNTED TO THE FRONT OF THE SIGN.
- 3. ALL TRAFFIC CONTROL SIGNS SHALL BE MOUNTED TO THE FRONT OF THE SIGN.
- 4. ALL TRAFFIC CONTROL SIGNS SHALL BE MOUNTED TO THE FRONT OF THE SIGN.
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- 9. ALL TRAFFIC CONTROL SIGNS SHALL BE MOUNTED TO THE FRONT OF THE SIGN.
- 10. ALL TRAFFIC CONTROL SIGNS SHALL BE MOUNTED TO THE FRONT OF THE SIGN.

TRC NOTES

- 1. THE EXISTING PROJECT SITE IS APPROX. 100' WIDE AND 100' DEEP.
- 2. THE EXISTING PROJECT SITE IS APPROX. 100' WIDE AND 100' DEEP.
- 3. THE EXISTING PROJECT SITE IS APPROX. 100' WIDE AND 100' DEEP.
- 4. THE EXISTING PROJECT SITE IS APPROX. 100' WIDE AND 100' DEEP.
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- 9. THE EXISTING PROJECT SITE IS APPROX. 100' WIDE AND 100' DEEP.
- 10. THE EXISTING PROJECT SITE IS APPROX. 100' WIDE AND 100' DEEP.

CONSTRUCTION SEQUENCE

- 1. DEMOLITION OF EXISTING STRUCTURES AND UTILITIES.
- 2. GRADING AND EROSION CONTROL.
- 3. UTILITY INSTALLATION.
- 4. FOUNDATION CONSTRUCTION.
- 5. WALL AND COLUMN CONSTRUCTION.
- 6. ROOF CONSTRUCTION.
- 7. INTERIOR FINISHES.
- 8. EXTERIOR FINISHES.
- 9. LANDSCAPE INSTALLATION.
- 10. FINAL INSPECTION AND CLOSEOUT.

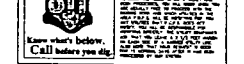
PROJECT DESCRIPTION

THE PROJECT INVOLVES THE CONSTRUCTION OF 4 (4) STORY RESIDENTIAL BUILDINGS. THE BUILDINGS WILL BE CONSTRUCTED ON A 100' X 100' SITE. THE BUILDINGS WILL BE CONSTRUCTED WITH A CONCRETE FRAMEWORK AND A BRICK EXTERIOR. THE BUILDINGS WILL BE CONSTRUCTED WITH A CONCRETE FRAMEWORK AND A BRICK EXTERIOR. THE BUILDINGS WILL BE CONSTRUCTED WITH A CONCRETE FRAMEWORK AND A BRICK EXTERIOR. THE BUILDINGS WILL BE CONSTRUCTED WITH A CONCRETE FRAMEWORK AND A BRICK EXTERIOR.

PROJECT CONTACT INFORMATION

OWNER: NEW LEAF BUILDERS
 12345 MAIN STREET
 CHARLESTON, SC 29405
 CONTACT: JOHN BROWN
 803-555-1234

UNIT ADDRESSING PLAN



CONSTRUCTION DELIVERY NOTE

CONSTRUCTION SHALL BE COMPLETED BY THE DATE SHOWN ON THIS SHEET. THE OWNER SHALL BE NOTIFIED IN WRITING AT LEAST 30 DAYS PRIOR TO THE START DATE OF CONSTRUCTION.

FORSBERG ENGINEERING AND SURVEYING, INC.

REGISTERED PROFESSIONAL ENGINEER AND SURVEYOR

STATE OF SOUTH CAROLINA

No. 35 BROCKMAN DRIVE - CREEK POINT SUBDIVISION

PELICAN COVE HORIZONTAL PROPERTY REGIME

CITY OF CHARLESTON - JAMES ISLAND

CHARLESTON COUNTY, SOUTH CAROLINA

TITLE PAGE/SHEET INDEX

UNITS 35A, 35B, 35C, 35D

PELICAN COVE HORIZONTAL PROPERTY REGIME

CITY OF CHARLESTON - JAMES ISLAND

CHARLESTON COUNTY, SOUTH CAROLINA

DATE: JANUARY 25, 2018

APPROVED: [Signature]

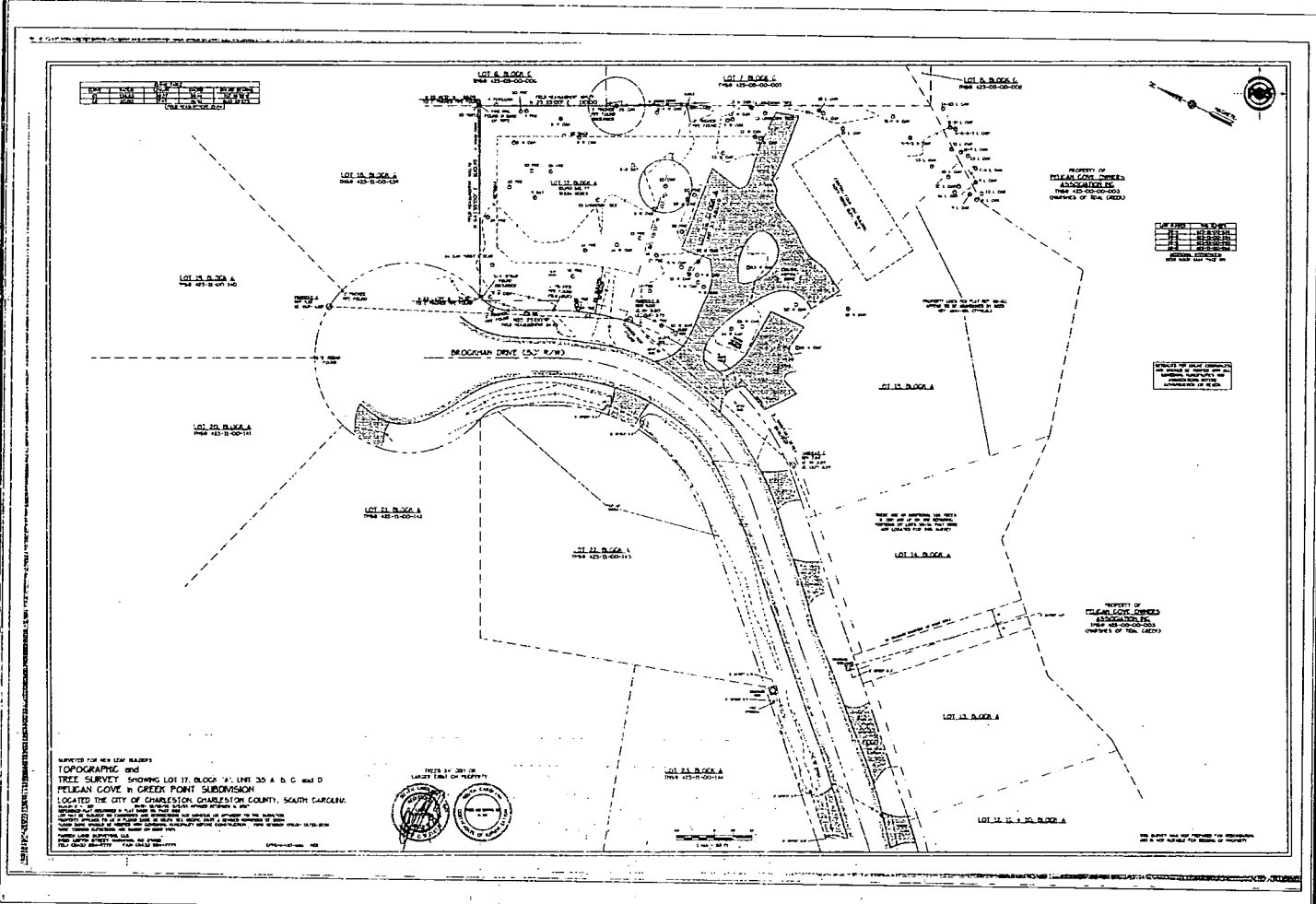
LAST REVISED: AUGUST 13, 2018

APPROVED: [Signature]

SCALE: N/A

PROJECT NO: 1512

SHEET NUMBER: T100



FORSEBERG ENGINEERING AND SURVEYING, INC.
 1400 MARKET STREET, SUITE 100
 CHARLESTON, SOUTH CAROLINA 29403
 (803) 799-1111
 www.forsberg-engineering.com

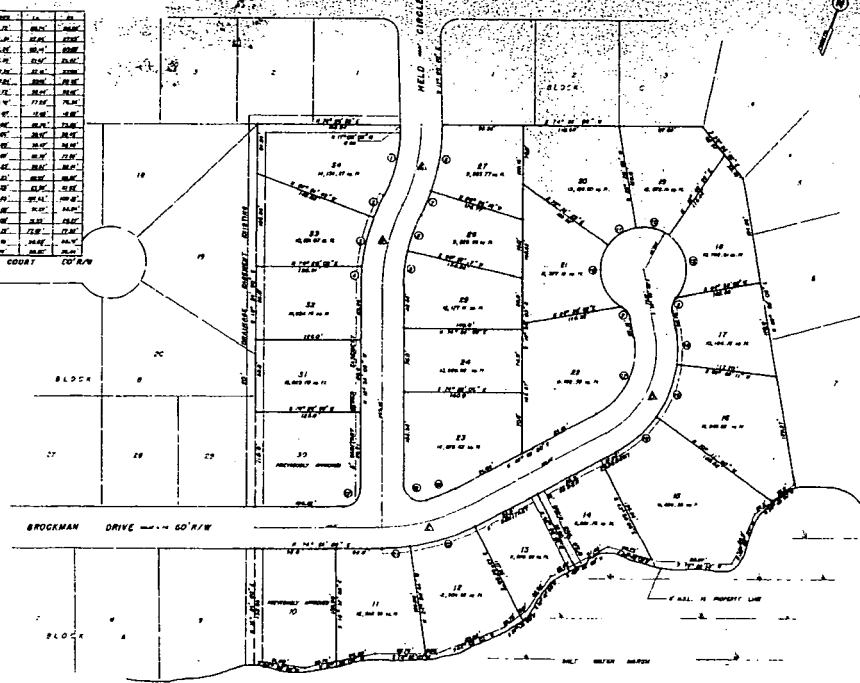
TOPOGRAPHIC & TREE SURVEY
 UNITS 35A, 35B, 35C, 35D
 PELICAN COVE HORIZONTAL PROPERTY REGIME
 CITY OF CHARLESTON - JAMES ISLAND
 CHARLESTON COUNTY, SOUTH CAROLINA

DATE	JANUARY 23, 2018
DRAWN/CHECKED	
LIST NUMBER	AUGUST 13, 2018
APPROVED	
SCALE	
PROJECT NO.	6187
SHEET NUMBER	

C001

OF 13

NO.	AREA	PERCENT	AREA	PERCENT
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14	100.00	100.00	100.00	100.00
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83	100.00	100.00	100.00	100.00
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87	100.00	100.00	100.00	100.00
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89	100.00	100.00	100.00	100.00
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96	100.00	100.00	100.00	100.00
97	100.00	100.00	100.00	100.00
98	100.00	100.00	100.00	100.00
99	100.00	100.00	100.00	100.00
100	100.00	100.00	100.00	100.00



Banking
 Bank of America
 Wells Fargo
 Carolina Bank

BY THE RECORDS OF THIS PLAT, HE HEREBY CERTIFIES THAT THE PROPERTY IS CORRECTLY SHOWN IN THE PLAT AND THAT THE PROPERTY IS SUBJECT TO THE CITY OF CHARLESTON.

APPROVED BY
 [Signature]
 CITY ENGINEER

PLAT OF
 LOTS 11 THRU 27 BLOCK A
 LOTS 31 THRU 34 BLOCK B
CREEK POINT
 CITY OF CHARLESTON
 JAMES ISLAND

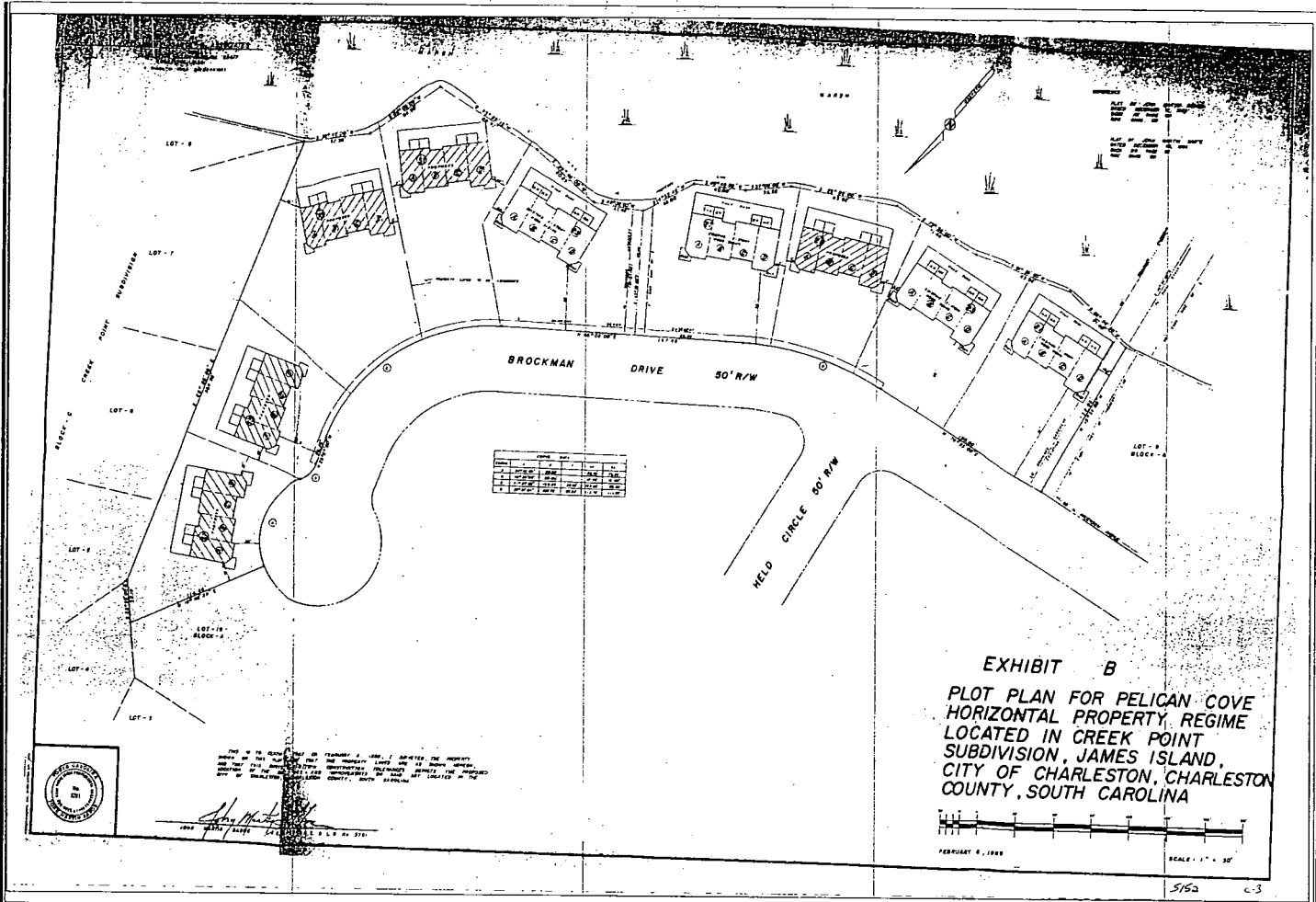
CHARLESTON COUNTY SOUTH CAROLINA
 JAN 11, 2018 SCALE 1" = 60'

I, [Name], Engineer, do hereby certify that I am a duly licensed Professional Engineer in the State of South Carolina and that I am duly qualified to prepare and certify this plat and that I am duly qualified to certify this plat and that I am duly qualified to certify this plat.

POSSBERG ENGINEERING AND SURVEYING, INC.
 1000 MARKET STREET, SUITE 100
 CHARLESTON, SOUTH CAROLINA 29403
 (803) 799-1111

REFERENCE PLAT (BB-32)
 UNITS 35A, 35B, 35C, 35D
 PELICAN COVE HORIZONTAL PROPERTY REGIME
 CITY OF CHARLESTON - JAMES ISLAND
 CHARLESTON COUNTY, SOUTH CAROLINA

DATE: JANUARY 28, 2018
 DRAWN/CHECKED:
 LAST REVISED: AUGUST 13, 2018
 APPROVED:
 SCALE:
 PROJECT NO.: 5152
 SHEET NUMBER:
C002
 OF 18

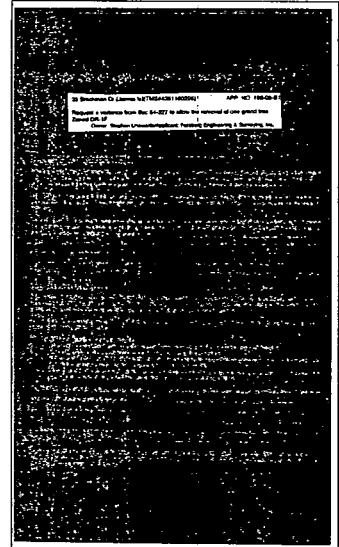
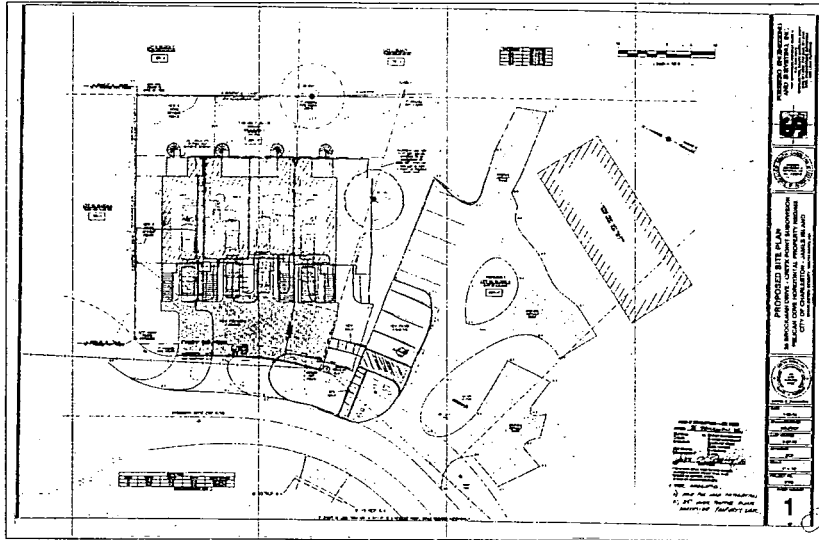


FORSEBERG ENGINEERING AND SURVEYING, INC.
 1000 MARKET STREET, SUITE 100
 CHARLESTON, SOUTH CAROLINA 29403
 (803) 799-1111

PELICAN COVE HPR (A144-188)
 UNITS 35A, 35B, 35C, 35D
 PELICAN COVE HORIZONTAL PROPERTY REGIME
 CITY OF CHARLESTON, JAMES ISLAND
 CHARLESTON COUNTY, SOUTH CAROLINA

DATE	JANUARY 28, 2018
DRAWN/CHECKED	
LAST REVISED	AUGUST 13, 2018
APPROVED	
SCALE	
PROJECT NO.	3133
SHEET NUMBER	C003

5/62 c-3





Staff recommendations and conditions:


Approval:

1. Must plant 19 caliper inches of canopy trees (8 - 2 1/2") on the project site.
2. Must use 4' chain-link fence as tree protection barricades to preserve all non-grand trees and the buffer during construction.
3. Must have Certified Arborist treat all trees to remain on the site.
4. Must submit a landscape plan for staff review and approval.

FORSEBERG ENGINEERING AND SURVEYING, INC.
1000 W. 10th Street, Suite 100
 Charleston, SC 29405
 Phone: (843) 799-1111
 Fax: (843) 799-1112
 www.forseberg.com

BZA APPROVAL
 UNITS 35A, 35B, 35C, 35D
 PELICAN COVE HORIZONTAL PROPERTY REGIME
 CITY OF CHARLESTON - JAMES ISLAND
 CHARLESTON COUNTY, SOUTH CAROLINA



DATE	JANUARY 25, 2018
DESIGNED BY	JSC/DCP
DATE REVIEWED	AUGUST 13, 2018
APPROVED BY	DCP
SCALE	N/A
PROJECT NO.	2132
SHEET NUMBER	C004

OF 18

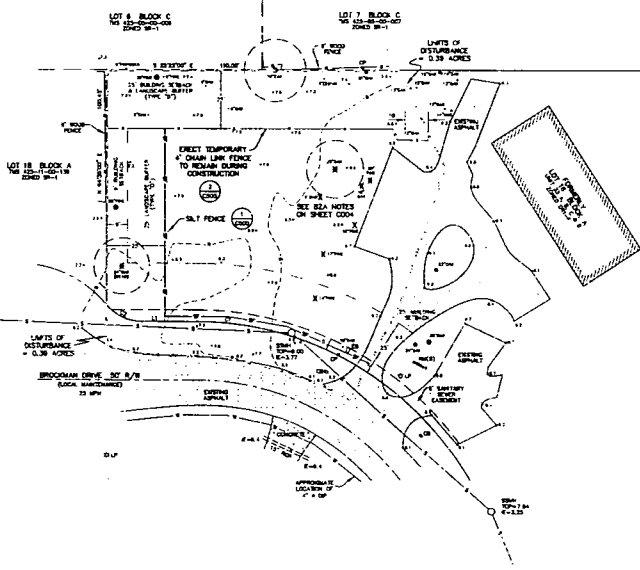


CURVE TABLE	
CHORD LENGTH	ANGLE
10.00	18.47
20.00	36.87
30.00	55.28
40.00	73.74
50.00	92.22
60.00	110.71
70.00	129.21
80.00	147.72
90.00	166.24
100.00	184.76

LINE TABLE	
LINE LENGTH	BEARING
17.13	N 89° 58' 00" W

LEZARD	
1	1" = 20' SCALE
2	ADJUSTED PROPERTY LINE
3	ADJUSTED EASEMENT LINE
4	ADJUSTED CURVE CENTER
5	ADJUSTED CURVE RADIUS
6	ADJUSTED CURVE CHORD
7	ADJUSTED CURVE BEARING
8	ADJUSTED CURVE LENGTH
9	ADJUSTED CURVE AREA
10	ADJUSTED CURVE PERIMETER
11	ADJUSTED CURVE VOLUME
12	ADJUSTED CURVE WEIGHT
13	ADJUSTED CURVE MASS
14	ADJUSTED CURVE MOMENT
15	ADJUSTED CURVE ENERGY
16	ADJUSTED CURVE POWER
17	ADJUSTED CURVE FORCE
18	ADJUSTED CURVE PRESSURE
19	ADJUSTED CURVE STRESS
20	ADJUSTED CURVE STRAIN
21	ADJUSTED CURVE DEFORMATION
22	ADJUSTED CURVE DISPLACEMENT
23	ADJUSTED CURVE VELOCITY
24	ADJUSTED CURVE ACCELERATION
25	ADJUSTED CURVE FREQUENCY
26	ADJUSTED CURVE PERIOD
27	ADJUSTED CURVE AMPLITUDE
28	ADJUSTED CURVE PHASE
29	ADJUSTED CURVE WAVELENGTH
30	ADJUSTED CURVE WAVE NUMBER
31	ADJUSTED CURVE WAVE VELOCITY
32	ADJUSTED CURVE WAVE PERIOD
33	ADJUSTED CURVE WAVE AMPLITUDE
34	ADJUSTED CURVE WAVE PHASE
35	ADJUSTED CURVE WAVE WAVELENGTH
36	ADJUSTED CURVE WAVE WAVE NUMBER
37	ADJUSTED CURVE WAVE WAVE VELOCITY
38	ADJUSTED CURVE WAVE WAVE PERIOD
39	ADJUSTED CURVE WAVE WAVE AMPLITUDE
40	ADJUSTED CURVE WAVE WAVE PHASE

LINE LEZARD	
1	PROPERTY LINE
2	ADJUSTED PROPERTY LINE
3	ADJUSTED EASEMENT LINE
4	ADJUSTED CURVE CENTER
5	ADJUSTED CURVE RADIUS
6	ADJUSTED CURVE CHORD
7	ADJUSTED CURVE BEARING
8	ADJUSTED CURVE LENGTH
9	ADJUSTED CURVE AREA
10	ADJUSTED CURVE PERIMETER
11	ADJUSTED CURVE VOLUME
12	ADJUSTED CURVE WEIGHT
13	ADJUSTED CURVE MASS
14	ADJUSTED CURVE MOMENT
15	ADJUSTED CURVE ENERGY
16	ADJUSTED CURVE POWER
17	ADJUSTED CURVE FORCE
18	ADJUSTED CURVE PRESSURE
19	ADJUSTED CURVE STRESS
20	ADJUSTED CURVE STRAIN
21	ADJUSTED CURVE DEFORMATION
22	ADJUSTED CURVE DISPLACEMENT
23	ADJUSTED CURVE VELOCITY
24	ADJUSTED CURVE ACCELERATION
25	ADJUSTED CURVE FREQUENCY
26	ADJUSTED CURVE PERIOD
27	ADJUSTED CURVE AMPLITUDE
28	ADJUSTED CURVE PHASE
29	ADJUSTED CURVE WAVELENGTH
30	ADJUSTED CURVE WAVE NUMBER
31	ADJUSTED CURVE WAVE VELOCITY
32	ADJUSTED CURVE WAVE PERIOD
33	ADJUSTED CURVE WAVE AMPLITUDE
34	ADJUSTED CURVE WAVE PHASE
35	ADJUSTED CURVE WAVE WAVELENGTH
36	ADJUSTED CURVE WAVE WAVE NUMBER
37	ADJUSTED CURVE WAVE WAVE VELOCITY
38	ADJUSTED CURVE WAVE WAVE PERIOD
39	ADJUSTED CURVE WAVE WAVE AMPLITUDE
40	ADJUSTED CURVE WAVE WAVE PHASE

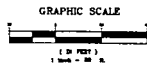


DEMOLITION NOTES

- 1) SEE DEMOLITION NOTES ON SHEET 001.
- 2) SEE LANSING PLAN FOR FINAL ESTABLISHMENT.
- 3) CONTRACTOR IS RESPONSIBLE FOR SETTING ALL NEW AND EXISTING CORNER MARKS. THE PROPERTY SHALL BE CLEAR OF ALL 2" X 4" TO FINISHED GRADE. SHARP CORNER MARKS SHALL BE NECESSARY.
- 4) ALL DISTURBED AREAS SHALL BE TEMPORARILY AND PERMANENTLY ESTABLISHED IN ACCORDANCE TO LANDSCAPE PLAN.
- 5) THE CONTRACTOR WILL BE RESPONSIBLE FOR ALL DEMOLITION REPORTS, ADJUSTED DRAWINGS, RECORDS, EROSION CONTROL, AND NOTICE OF DEMOLITION.
- 6) CONSIDERABLE EFFORT HAS BEEN MADE TO DETERMINE THE LOCATION OF UNRECORDED EASEMENTS AND EGRESS RIGHTS. ANY UNRECORDED EASEMENTS AND EGRESS RIGHTS SHOULD BE IDENTIFIED AND LOCATED BY THE CONTRACTOR. ANY UNRECORDED EASEMENTS AND EGRESS RIGHTS SHOULD BE IDENTIFIED AND LOCATED BY THE CONTRACTOR. ANY UNRECORDED EASEMENTS AND EGRESS RIGHTS SHOULD BE IDENTIFIED AND LOCATED BY THE CONTRACTOR.
- 7) UTILITIES (ELECTRIC, GAS, WATER, SEWER, TELEPHONE, CABLE, OPTIC FIBER, ETC.) SHALL BE LOCATED AND MARKED PRIOR TO DEMOLITION. ALL UTILITIES SHALL BE PROTECTED AND DEEPENED TO A MINIMUM OF 18" BELOW FINISHED GRADE.
- 8) THERE ARE 2 DRAINAGE PIPES ON SITE. 2 ARE BEING REMOVED, INCLUDING THE OLD GAS, AND 1 IS TO REMAIN.
- 9) SLOTTED DRAINAGE COFF FOR ALL EXISTING DEVELOPMENT. ALL REMOVED AND OAS DEMOLITION SHALL BE TO EXISTING GRADE.

TREE SUMMARY

THERE ARE APPROXIMATELY 147 PROTECTED TREES WITHIN THE PROPOSED PROPERTY. NONE OF THESE TREES (BY DATE) ARE APPROVED FOR REMOVAL BY THE SEA AND A NATIONAL PROTECTED TREES ARE PROPOSED FOR REMOVAL. SEE SHEET 001 FOR TOTAL NUMBER OF TREES REQUIRED FOR THE 1.58 ACRES OF 0.38 ACRES (11/14/20).



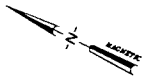
FORBERG ENGINEERING AND SURVEYING, INC.
 1000 W. 10TH STREET, SUITE 100
 CHARLESTON, SOUTH CAROLINA 29405
 TEL: 803.733.1111
 FAX: 803.733.1112
 WWW.FORBERG-ENGINEERING.COM



DEMOLITION & EROSION CONTROL PLAN
 UNITS 35A, 35B, 35C, 35D
 PELICAN COVE HORIZONTAL PROPERTY REGIME
 CITY OF CHARLESTON - JAMES ISLAND
 CHARLESTON COUNTY, SOUTH CAROLINA

DESIGNED BY	DANIEL C. FORBERG
DATE	JANUARY 25, 2018
PROJECT NO.	18-001
CLIENT	JSC/DCP
DATE REVISION	AUGUST 13, 2018
APPROVED	DCP
SCALE	1" = 20'
PROJECT NO.	18-001
SHEET NUMBER	C100

C100
 OF 18



LINE	LENGTH	BEARING
1	10.00	N 00° 00' 00" E
2	10.00	S 00° 00' 00" E
3	10.00	S 00° 00' 00" W
4	10.00	N 00° 00' 00" W

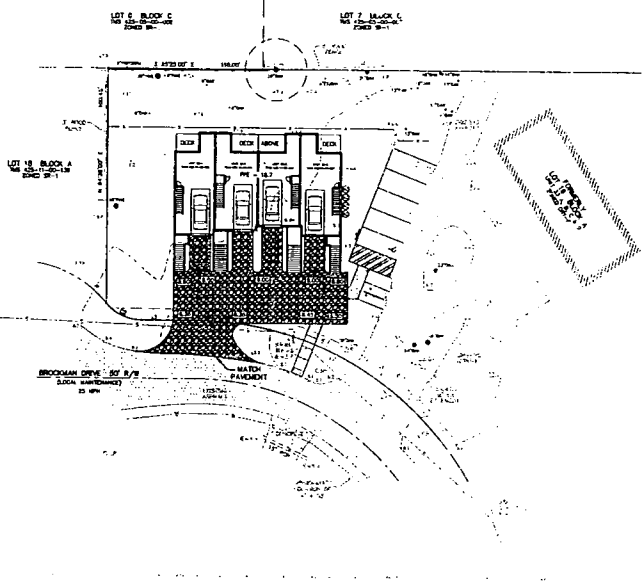
LINE	LENGTH	BEARING
1	10.00	N 00° 00' 00" E
2	10.00	S 00° 00' 00" E
3	10.00	S 00° 00' 00" W
4	10.00	N 00° 00' 00" W

LEGEND

- 1" - 1" = 1" SCALE
- 2" - 2" = 1" SCALE
- 3" - 3" = 1" SCALE
- 4" - 4" = 1" SCALE
- 5" - 5" = 1" SCALE
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LINE LEGEND

- 1" - 1" = 1" SCALE
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- 97" - 97" = 1" SCALE
- 98" - 98" = 1" SCALE
- 99" - 99" = 1" SCALE
- 100" - 100" = 1" SCALE



FORSEBERG ENGINEERING AND SURVEYING, INC.
 1805 SANDHURST DRIVE, SUITE 8
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 WWW.FORSEBERG-ENGINEERING.COM

STATE OF NORTH CAROLINA
REGISTERED PROFESSIONAL ENGINEER
 LICENSE NO. 35821

STATE OF NORTH CAROLINA
REGISTERED PROFESSIONAL SURVEYOR
 LICENSE NO. 10122

GRADING PLAN
 UNITS 35A, 35B, 35C, 35D
 PELICAN COVE HORIZONTAL PROPERTY REGIME
 CITY OF CHARLOTTE - JAMES ISLAND
 CHARLOTTE COUNTY, NORTH CAROLINA

JAMIE C. FORSEBERG
 DATE: JANUARY 29, 2018
 DRAWN/CHECKED: JSC/OCF
 DATE REVISION: AUGUST 13, 2018
 APPROVED: DCF

SCALE: 1" = 20'
 PROJECT NO: 1512
 SHEET NUMBER: **C300**
 OF 12

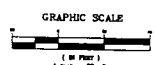
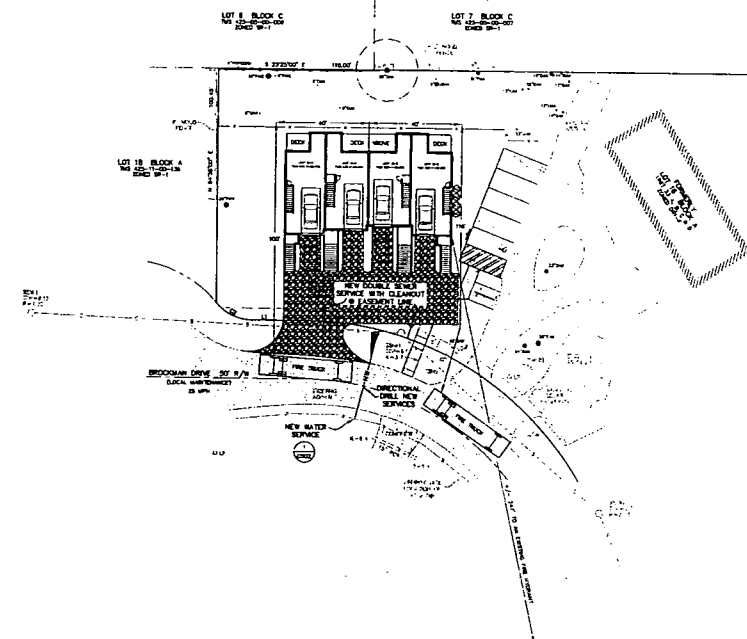


LINE	LENGTH	BEARING
1	132.1	0°00'00"

SYMBOL	DESCRIPTION
SP	SHARED DOUBLE BLIND WALL
DP	DOUBLE WALL
AP	ADJACENT PROPERTY LINE
CP	COMMON PROPERTY LINE
EP	ENCLOSURE
FP	FIRE PROTECTION
GP	GRASS
HP	HARDWARE
IP	INTERIOR
JP	JOB
KP	KITCHEN
LP	LIVING ROOM
MP	MEDIA ROOM
NP	NORTH
OP	OFFICE
PP	PORCH
QP	QUARTERS
RP	RESTROOM
SP	SLEEPING PORCH
TP	TERRACE
UP	UTILITY ROOM
VP	VEHICLE GARAGE
WP	WATER
XP	EXTERIOR
YP	YARD
ZP	ZONE

LINE	LENGTH	BEARING
1	132.1	0°00'00"

FIRE PROTECTION NOTES
1) CONSTRUCTION TYPE IS TO BE SUBJECT TO THE NUMBER OF FLOOR LEVELS. THE HEIGHT LIMIT IS 20 FEET AND THE BUILDING SHALL BE IN ACCORDANCE WITH THE LATEST CODES (INTERNATIONAL BUILDING CODE) AS ADOPTED BY CHARLESTON, SOUTH CAROLINA.
2) THE PLAN SET BY CHARLESTON DPV ON JULY 28, 2018.
3) THIS PLAN SET IS FOR THE PROJECT AT THE ADDRESS:
1000 W. 11TH ST.
CHARLESTON, SOUTH CAROLINA 29405

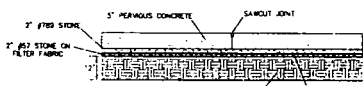


FORSEBERG ENGINEERING AND SURVEYING, INC.
1000 W. 11TH ST.
CHARLESTON, SOUTH CAROLINA 29405
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STATE OF SOUTH CAROLINA
REGISTERED PROFESSIONAL ENGINEER
No. 15480

UTILITY & FIRE PROTECTION PLAN
UNITS 35A, 35B, 35C, 35D
PELICAN COVE HORIZONTAL PROPERTY REGIME
CITY OF CHARLESTON - JAMES ISLAND
CHARLESTON COUNTY, SOUTH CAROLINA

PROJECT INFORMATION
DATE: JANUARY 28, 2018
DRAWN/CHECKED: JSC/DFP
LAST REVISED: AUGUST 13, 2018
APPROVED: DCF
SCALE: 1" = 20'
PROJECT NO: 5183
SHEET NUMBER: C400
OF 18



THE SITE CONTRACTOR SHALL PROTECT AREAS OF NEW PERVIOUS PAVEMENT FROM OVERCOMPACTION AND SHALL ADVISE ON LOOSEN SOIL TO A MINIMUM DEPTH OF 12" AS NECESSARY TO OBTAIN A MINIMUM DENSITY OF 98% BROUDED PROCTOR. PRIOR TO INSTALLATION OF 5" STONE LAYER, THE CONTRACTOR SHALL PROVIDE A DENSITY TEST PER 1000 SFT² ARE SHOWING DENSITY COMPLIANCE & LEVEL OF DENSITY REQUIREMENT. THE CONTRACTOR MAY PROVIDE FIELD PORTABILITY TEST SHOWING A MINIMUM PORTABILITY OF 0.5m/yr.

PERVIOUS CONCRETE
NOT TO SCALE

Permissible Permeation Construction Sequence
Equipment has shown that proper installation is ultimately critical to the effective operation of a permeable pavement system.

Permeable Permeation Construction Sequence
The following sequence and minimum control guidelines are to be followed during construction:

- All permeable pavement areas should be fully protected from surface erosion by all means during construction. Permeable pavements are not installed in adverse weather.
- Permeable permeation pavements must be installed on a base of minimum 4" depth. A minimum 4" depth of base is required to ensure proper drainage of water through the permeable pavement system. The base should be compacted to a minimum of 98% Brouded Proctor. The base should be installed on a subgrade of minimum 1.5% slope. The base should be installed on a subgrade of minimum 1.5% slope. The base should be installed on a subgrade of minimum 1.5% slope.
- During construction, care should be taken to avoid long vehicles over any permeable pavement until it is fully cured.
- For use of the site installed permeable pavement, a permeable pavement must be installed on a subgrade of minimum 1.5% slope. The base should be compacted to a minimum of 98% Brouded Proctor. The base should be installed on a subgrade of minimum 1.5% slope. The base should be installed on a subgrade of minimum 1.5% slope.

Permissible Permeation Construction Sequence
The following is a typical construction sequence to properly install permeable pavement, which may need to be modified depending on the specific nature of the project. The sequence is as follows:

- Step 1: Prepare the subgrade. The subgrade must be prepared to a minimum of 1.5% slope. The base should be compacted to a minimum of 98% Brouded Proctor. The base should be installed on a subgrade of minimum 1.5% slope. The base should be installed on a subgrade of minimum 1.5% slope.
- Step 2: Install the base. The base should be compacted to a minimum of 98% Brouded Proctor. The base should be installed on a subgrade of minimum 1.5% slope. The base should be installed on a subgrade of minimum 1.5% slope.
- Step 3: When possible, install stone or aggregate above and below the permeable pavement. The stone or aggregate should be installed on a subgrade of minimum 1.5% slope. The base should be compacted to a minimum of 98% Brouded Proctor. The base should be installed on a subgrade of minimum 1.5% slope. The base should be installed on a subgrade of minimum 1.5% slope.

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CHARLOTTE, NC 28202
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CIVIL DETAILS
UNITS 35A, 35B, 35C, 35D
PELICAN COVE HORIZONTAL PROPERTY REGIME
CITY OF CHARLESTON - JAMES ISLAND
CHARLESTON COUNTY, SOUTH CAROLINA

DATE: JANUARY 28, 2018
DRAWN BY: JSC/CP
LAST REVISION: AUGUST 13, 2018
APPROVED: DCF
SCALE: N/A
PROJECT NO.: 9132
SHEET NUMBER: C501
OF 18

Step 1: The subgrade along the bottom of the permeable pavement course should be installed to a depth of 12" in a layer prior to the placement of the base layer of permeable base.

Step 2: Prepare the subgrade. The subgrade must be prepared to a minimum of 1.5% slope. The base should be compacted to a minimum of 98% Brouded Proctor. The base should be installed on a subgrade of minimum 1.5% slope. The base should be installed on a subgrade of minimum 1.5% slope.

Step 3: Install the base. The base should be compacted to a minimum of 98% Brouded Proctor. The base should be installed on a subgrade of minimum 1.5% slope. The base should be installed on a subgrade of minimum 1.5% slope.

Step 4: When possible, install stone or aggregate above and below the permeable pavement. The stone or aggregate should be installed on a subgrade of minimum 1.5% slope. The base should be compacted to a minimum of 98% Brouded Proctor. The base should be installed on a subgrade of minimum 1.5% slope. The base should be installed on a subgrade of minimum 1.5% slope.

Step 5: The subgrade along the bottom of the permeable pavement course should be installed to a depth of 12" in a layer prior to the placement of the base layer of permeable base.

Step 6: Prepare the subgrade. The subgrade must be prepared to a minimum of 1.5% slope. The base should be compacted to a minimum of 98% Brouded Proctor. The base should be installed on a subgrade of minimum 1.5% slope. The base should be installed on a subgrade of minimum 1.5% slope.

Step 7: Install the base. The base should be compacted to a minimum of 98% Brouded Proctor. The base should be installed on a subgrade of minimum 1.5% slope. The base should be installed on a subgrade of minimum 1.5% slope.

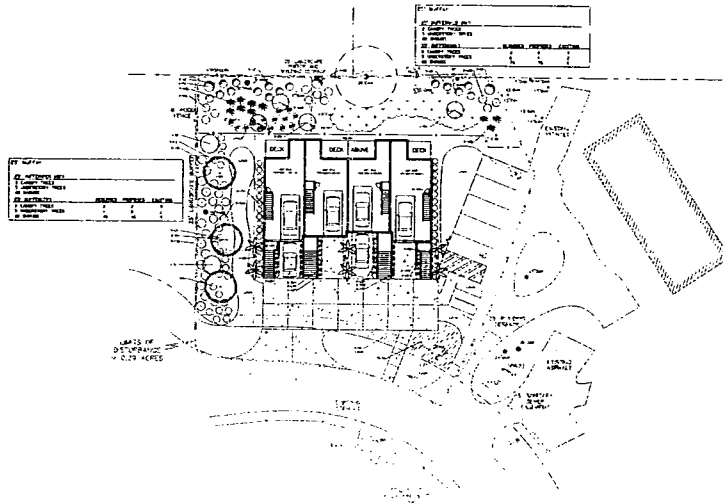
Step 8: When possible, install stone or aggregate above and below the permeable pavement. The stone or aggregate should be installed on a subgrade of minimum 1.5% slope. The base should be compacted to a minimum of 98% Brouded Proctor. The base should be installed on a subgrade of minimum 1.5% slope. The base should be installed on a subgrade of minimum 1.5% slope.

Step 9: The subgrade along the bottom of the permeable pavement course should be installed to a depth of 12" in a layer prior to the placement of the base layer of permeable base.

Step 10: Prepare the subgrade. The subgrade must be prepared to a minimum of 1.5% slope. The base should be compacted to a minimum of 98% Brouded Proctor. The base should be installed on a subgrade of minimum 1.5% slope. The base should be installed on a subgrade of minimum 1.5% slope.

Step 11: Install the base. The base should be compacted to a minimum of 98% Brouded Proctor. The base should be installed on a subgrade of minimum 1.5% slope. The base should be installed on a subgrade of minimum 1.5% slope.

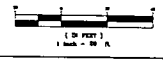
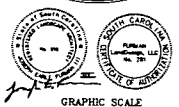
Step 12: When possible, install stone or aggregate above and below the permeable pavement. The stone or aggregate should be installed on a subgrade of minimum 1.5% slope. The base should be compacted to a minimum of 98% Brouded Proctor. The base should be installed on a subgrade of minimum 1.5% slope. The base should be installed on a subgrade of minimum 1.5% slope.



FORSEBERG ENGINEERING AND SURVEYING, INC.
 1000 W. 10TH STREET
 CHARLESTON, SOUTH CAROLINA 29407
 TEL: 703.333.3333
 FAX: 703.333.3333
 WWW.FORSEBERG-ENGINEERING.COM



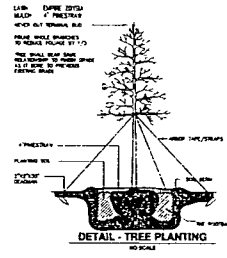
LANDSCAPE PLAN
 UNITS 35A, 35B, 35C, 35D
 PELICAN COVE HORIZONTAL PROPERTY REGIME
 CITY OF CHARLESTON, JAMES ISLAND
 CHARLESTON COUNTY, SOUTH CAROLINA



DATE	JANUARY 25, 2018
DRAWN/CHECKED	
LAST REVISED	JULY 16, 2018
APPROVED	
SCALE	1" = 20'
PROJECT NO.	5182
SHEET NUMBER	L100
OF	2

NOTE: CONTRACTOR TO VERIFY COUNTS FROM ACTUAL PLANT

PLANT SCHEDULE	SYMBOL	COMMON NAME	HEIGHT/FEET	QUANTITY
TREES				
01	ORANGE LEMON	ORANGE LEMON	5-6' CALIPER	
02	ORANGE LEMON	ORANGE LEMON	5-6' CALIPER	
03	ORANGE LEMON	ORANGE LEMON	5-6' CALIPER	
04	ORANGE LEMON	ORANGE LEMON	5-6' CALIPER	
05	ORANGE LEMON	ORANGE LEMON	5-6' CALIPER	
06	ORANGE LEMON	ORANGE LEMON	5-6' CALIPER	
07	ORANGE LEMON	ORANGE LEMON	5-6' CALIPER	
08	ORANGE LEMON	ORANGE LEMON	5-6' CALIPER	
09	ORANGE LEMON	ORANGE LEMON	5-6' CALIPER	
10	ORANGE LEMON	ORANGE LEMON	5-6' CALIPER	
11	ORANGE LEMON	ORANGE LEMON	5-6' CALIPER	
12	ORANGE LEMON	ORANGE LEMON	5-6' CALIPER	
13	ORANGE LEMON	ORANGE LEMON	5-6' CALIPER	
14	ORANGE LEMON	ORANGE LEMON	5-6' CALIPER	
15	ORANGE LEMON	ORANGE LEMON	5-6' CALIPER	
16	ORANGE LEMON	ORANGE LEMON	5-6' CALIPER	
17	ORANGE LEMON	ORANGE LEMON	5-6' CALIPER	
18	ORANGE LEMON	ORANGE LEMON	5-6' CALIPER	
19	ORANGE LEMON	ORANGE LEMON	5-6' CALIPER	
20	ORANGE LEMON	ORANGE LEMON	5-6' CALIPER	
21	ORANGE LEMON	ORANGE LEMON	5-6' CALIPER	
22	ORANGE LEMON	ORANGE LEMON	5-6' CALIPER	
23	ORANGE LEMON	ORANGE LEMON	5-6' CALIPER	
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100	ORANGE LEMON	ORANGE LEMON	5-6' CALIPER	



TOPSOIL
SPREAD EVENLY 1" TOPSOIL AT ALL NEARLY PLANTED AREAS.

MULCH
2" STRAW MULCH

IRRIGATION NOTES

- THE CONTRACTOR IS ADVISED TO MEET THE SITE AND WEATHER FIELD CONDITIONS.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE APPLICABLE BUILDING CODES.
- THE CONTRACTOR SHALL OBTAIN ALL LICENSES AND PERMITS REQUIRED FOR THE PERFORMANCE OF HIS WORK.
- ALL PLANTED AREAS SHALL BE IRRIGATED BY AN AUTOMATIC LANDSCAPE IRRIGATION SYSTEM. SYSTEM SHALL BE DESIGNED BY IRRIGATION CONTRACTOR AND APPROVED BY LANDSCAPE ARCHITECT.
- EXISTING IRRIGATION SYSTEMS SHALL BE PROTECTED FROM DAMAGE. LANDSCAPE CONTRACTOR SHALL DETERMINE DEPTH AND CONNECTION TO A 4" OR 6" DIAMETER MAIN.
- PIPE RISERS SHALL BE INSTALLED BY IRRIGATION CONTRACTOR AS NECESSARY COORDINATE WITH GENERAL CONTRACTOR.
- PROTECT THE GROUND AND POWER SUPPLY CABLES SHALL BE COORDINATED WITH OWNER.
- EXISTING LIGHTING AND UTILITIES WILL OBTAIN CAUTION OF THESE PLANS TO FIT SITE. STAKE OUT BY CONTRACTOR AND FIELD VERIFICATION BY LANDSCAPE ARCHITECT ARE ABSOLUTELY NECESSARY.
- IRRIGATION SYSTEM SHALL BE GUARANTEED BY CONTRACTOR FOR A MINIMUM PERIOD OF ONE YEAR FROM DATE OF COMPLETION AND ACCEPTANCE BY OWNER.
- THE LOCATION OF ALL ABOVE GROUND AND BELOW GROUND UTILITIES IS THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR. DAMAGE TO UTILITIES AND PERSONAL INJURY AS A RESULT OF THE FAILURE TO DETERMINE HAZARD BEFORE WORKING SHALL BE THE SOLE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR. UTILITY LOCATIONS ARE NOT SHOWN ON THESE PLANS.

NOTE 1: TREES PLANTED IN THE R.O.W. MUST BE CONTAINER GROWN OR FROM AN APPROVED B & B SOURCE. TREES PLANTED IN THE R.O.W. MUST MEET AMLA NURSERY STOCK STANDARDS, AND SPECIES SELECTION MUST BE APPROVED BY THE DEPT. OF PARKS. THE CITY RESERVES THE RIGHT TO REJECT ANY STREET TREES DEEMED UNACCEPTABLE. (STREET TREES ARE NOT TO BE STAKED UNLESS NECESSARY)

WATERING SCHEDULE (TREES < 2" CALIPER REQUIRED BY LANDSCAPE CONTRACTOR)
2-3 GALLONS PER INCH OF CALIPER DAILY FOR 1-2 WEEKS.
2-3 GALLONS PER INCH OF CALIPER EVERY OTHER DAY FOR 1-2 MONTHS.
2-3 GALLONS PER INCH OF CALIPER WEEKLY FOR 2 MONTHS.
ADDITIONAL WATERING AS NEEDED THROUGH FIRST YEAR.

WATERING SCHEDULE (TREES 2"-4" CALIPER REQUIRED BY LANDSCAPE CONTRACTOR)
2-3 GALLONS PER INCH OF CALIPER DAILY FOR ONE MONTH.
2-3 GALLONS PER INCH OF CALIPER EVERY OTHER DAY FOR TWO TO THREE MONTHS.
2-3 GALLONS PER INCH OF CALIPER WEEKLY FOR 2 MONTHS.
ADDITIONAL WATERING AS NEEDED THROUGH FIRST YEAR.

WATERING SCHEDULE (TREES > 4" CALIPER REQUIRED BY LANDSCAPE CONTRACTOR)
2-3 GALLONS PER INCH OF CALIPER DAILY FOR 6 WEEKS.
2-3 GALLONS PER INCH OF CALIPER EVERY OTHER DAY FOR FIVE MONTHS.
2-3 GALLONS PER INCH OF CALIPER UNTIL ESTABLISHED.

WATERING SCHEDULE (PALM TREES REQUIRED BY LANDSCAPE CONTRACTOR)
WATERING IS BASED ON THE AVERAGE DAILY TEMPERATURE AND SOIL TYPE AT THE LOCATION. WATER TREES BY FLOODING SAUCER AND ALLOWING WATER TO PERK IN AND THEN FLOOD AGAIN OR PUT A HOSE ON SLOW DRIP AND SATURATE SOIL COMPLETELY.
65-85 DEGREES-NO WATERING. 85-70 WATER ONE TIME A WEEK.
70-85 WATER TWO TIMES PER WEEK. 85 AND UP WATER 4 TIMES PER WEEK.
SITE CONDITIONS MAY WARRANT MODIFICATIONS TO THE RECOMMENDED SCHEDULE.

ACCEPTABLE WATERING METHODS
GATOR BAGS
SAUCER WITH HAND WATERING
IRRIGATION

SOIL NOISE
LANDSCAPE CONTRACTOR SHALL REMOVE AND REPLACE TOP 4" OF FILL AROUND BUILDING AND OTHER PLANTED AREAS AND REPLACE WITH APPROVED TOPSOIL.

CLEARING OF DEBRIS
LANDSCAPE CONTRACTOR SHALL CLEAR ALL PROPOSED PLANTED AREAS OF ALL ROCKS AND DEBRIS BEFORE PLANTING.

PLANT MATERIAL
ALL PLANT MATERIAL SHALL BE APPROVED BY LANDSCAPE ARCHITECT BEFORE PLANTING. PLACEMENT OF PLANTS IS ABSOLUTELY NECESSARY BY LANDSCAPE ARCHITECT. CONTACT LANDSCAPE ARCHITECT TO SCHEDULE TIME.

UNDERGROUND UTILITIES
SEE CIVIL PLANS FOR PROPOSED AND EXISTING UTILITY LINES.

LIGHTING AND IRRIGATION CONDITIONS
GENERAL CONTRACTOR IS RESPONSIBLE FOR INSTALLING APPROPRIATE CONDITIONS FOR IRRIGATION AND LIGHTING.

GUARANTEE STATEMENT
TREES WITH A CALIPER 2"-3.5" WILL BE REQUIRED TO HAVE A 1 YEAR WARRANTY.
TREES WITH A CALIPER OF 4"-6" WILL BE REQUIRED TO HAVE A 2 YEAR WARRANTY.
TREES WITH A WARRANTY LARGER THAN 6" SHALL HAVE A 3 YEAR WARRANTY.
PALM TREES WILL BE REQUIRED TO HAVE A 2 YEAR WARRANTY.

FURMAN
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Columbia, SC 29204
www.furmanlanddesign.com

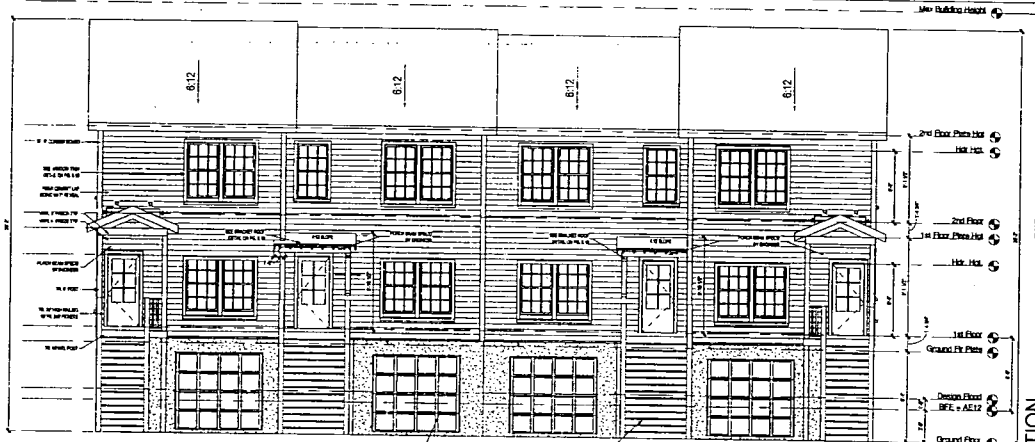
Professional Seal
Professional Seal
Professional Seal

FOSSBERG ENGINEERING
ARCHITECTURAL ENGINEERING
1017 W. WASHINGTON STREET, SUITE 100
CHARLESTON, SOUTH CAROLINA 29401
TEL: 703.444.4444
WWW.FOSSBERGENGINEERING.COM

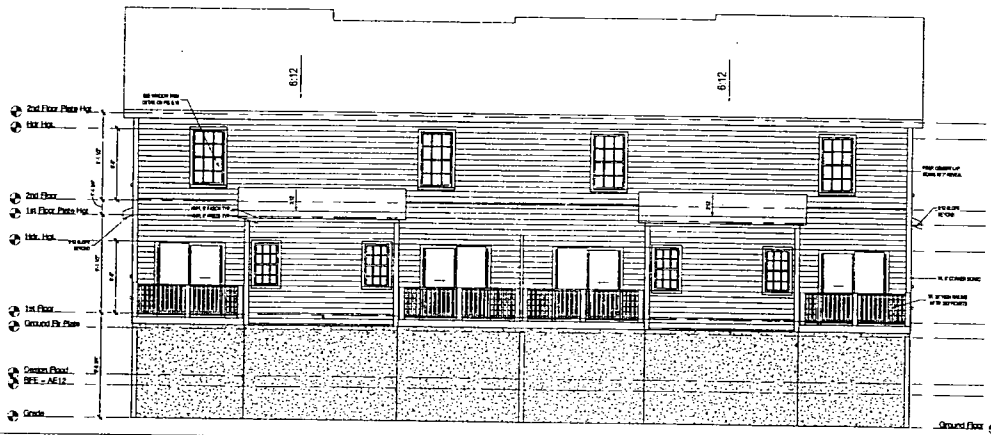
PLANT SCHEDULE/DETAILS
UNITS 35A, 35B, 35C, 35D
PELICAN COVE HORIZONTAL PROPERTY REGIME
CITY OF CHARLESTON - JAMES ISLAND
CONSESSOR COUNTY SOUTH CAROLINA

DATE: JANUARY 28, 2018
DRAWN/CHECKED: [Signature]
LAST REVISED: JULY 10, 2018
APPROVED: [Signature]
SCALE: 1" = 20'
PROJECT NO.: S152
SHEET NUMBER: L101

① Front Elevation
1/8" = 1'-0"



② Rear Elevation
1/8" = 1'-0"



NOT FOR CONSTRUCTION

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 704.366.1111
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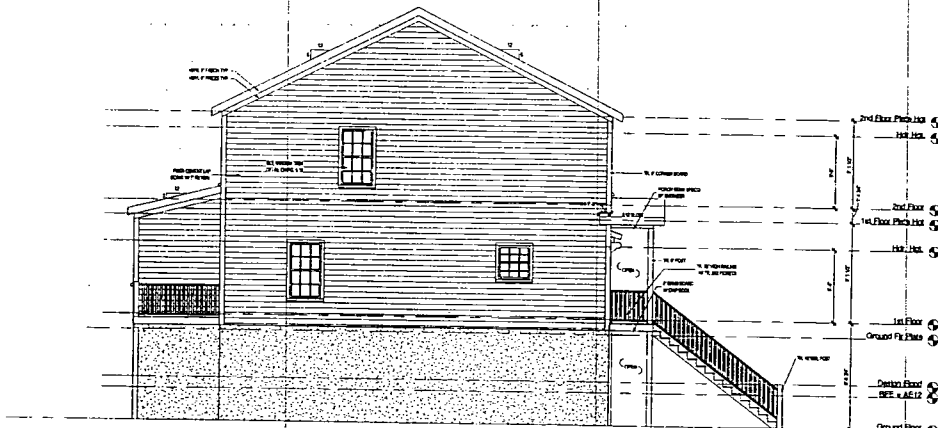
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Crosby Creations
 Drafting & Design Services, LLC
 4775 New 18th Street, O'Nealsville, NC 28131
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 Designer/Architect for:

New Leaf

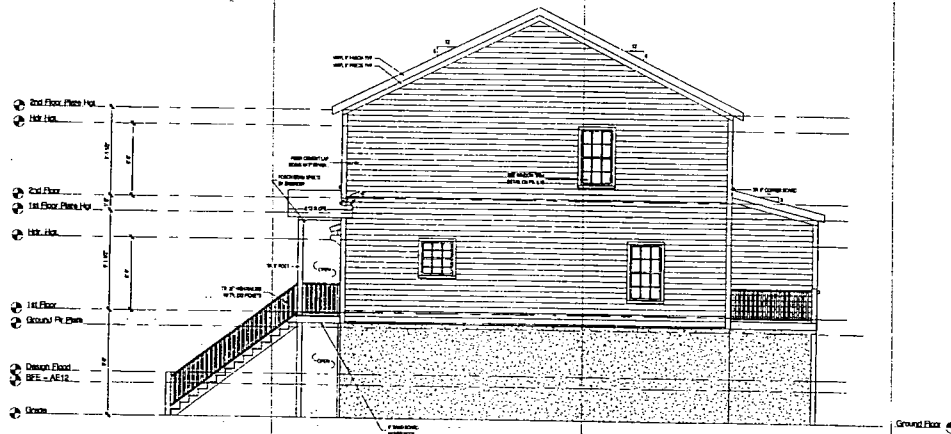
Sheet Name
**Front & Rear
Elevation**

Project Name & Address
New Leaf
 35 A.B.C.D Brockman Drive
 Charleston, SC

Project # CC1677	Sheet 4.10
Date 12/05/2016	
Scale 1/8" = 1'-0"	



① Left Elevation
1/8" = 1'-0"



② Right Elevation
1/8" = 1'-0"

NOT FOR CONSTRUCTION

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4775 Hwy 163, Suite D, Charleston, SC 29405
Designed/Entered by: **New Leaf**

Sheet Name
Left & Right Elevation

Project Name & Address
New Leaf
35 A.B.C.D Brockman Drive
Charleston, SC

Project #	Sheet
CC1677	
Date	4.11
Scale	1/8" = 1'-0"

GENERAL NOTES

1. MAIN HOUSE EXTERIOR TO BE 2X4 (UNO)
2. GROUND FLOOR WALLS TO BE 2" CMU
3. INTERIOR WALLS TO BE 2X4 (UNO)
4. GROUND FLOOR PLATE HEIGHT TO BE 8'-4"
5. FIRST FLOOR PLATE HEIGHTS TO BE 9'-1 1/2"
6. SECOND FLOOR PLATE HEIGHT TO BE 9'-1 1/2" (UNO)
7. SCREENED PORCH ROOF PLATE HEIGHT N/A
8. FRONT PORCH PLATE HEIGHT TO BE 9'-1 1/2" (PULLED FROM TOP OF FIRST FLR)
9. RAISE HEEL AS NEEDED TO MATCH EAVES PER ELEVATIONS
10. SEE ENGINEERING OR TRUSS LAYOUT FOR ALL FLOOR & CEILING JOIST SIZES AND SPACING. HEADER & BEAM SIZES
11. ALL LINEN CLOSETS TO HAVE 5 SHELVES, 15" OR 12" DEEP AS SPECIFIED
12. PANTRY TO HAVE 5 SHELVES, 12" DEEP
13. VERIFY / REQUIRED EGRESS WINDOWS MEET EGRESS WY WINDOW MANUFACTURER, CASEMENTS MAY NEED EGRESS HARDWARE
14. ANY ROOF HAVING A 4:12 ROOF PITCH OR LESS TO HAVE 2 LAYERS OF ROOFING FELT INSTALLED
15. CABINET BLOCKING: 2X8 CENTERED ON ALL CABINET WALLS FRAMED @ 24" O.C. @ 34", 39", 43" A.F.F. CABINET HEIGHTS AT 36" HIGH TO HAVE 8" BLOCKING. CABINET HEIGHTS AT 42" HIGH TO HAVE 8" BLOCKING. INSTALL 7/8" BLOCKING FOR CABINET ABOVE REFRIGERATOR
16. WINDOWS & DOOR GLASS U-FACTOR TO BE A MAX. OF .50 (85 FOR IMPACT)
17. GLAZED FENESTRATION SHGC RATINGS TO BE A MAX. OF .30
18. CEILING INSULATION TO BE R30
19. WALL INSULATION TO BE A R13
20. FLOOR INSULATION TO BE A R19
21. ALL DOORS THAT ARE NOT DIMENSIONED TO THE CENTER LINE ARE EITHER CENTERED OR 9" OFF NEAREST WALL
22. PROVIDE STUD CLUSTERS @ ENDS OF EACH BEAM
23. PROVIDE FIREBLOCKING AT ALL CHASES PER IRC 602.8
24. SEAL ALL PENETRATIONS FROM GROUND FLOOR TO HABITABLE SPACE ABOVE W/ FIRE RATED CAULK
25. PROVIDE 5/8" TYP. 1" GYPSUM ON GROUND FLOOR CEILING FOR FIREBLOCKING TO FIRST FLOOR
26. DUCTS IN ATTIC TO HAVE R8 INSUL. DUCTS ELSEWHERE TO HAVE R5 INSUL.
27. HVAC SYSTEM PIPING TO HAVE R3 INSUL.
28. MAX RISER HEIGHT IS 7-3/4". MIN TREAD DEPTH IS 10"
29. ALL BARN DOOR OPENINGS TO BE 6" LESS THAN DOOR WIDTH
30. CROSBY CREATIONS DOES NOT SPECIFY WINDOW, DOOR, ROOFING OR SIDING MANUFACTURER. THEREFORE NO FLASHING DETAILS ARE PROVIDED. BUILDERS TALLER TO REFER TO THE RECOMMENDED MANUFACTURER SPEC'S FOR FLASHING

ELECTRICAL NOTES

1. ALL BEDROOM SMOKE DETECTORS TO BE WALL MOUNTED AND CENTERED BETWEEN DOOR HEADER AND CEILING UNITS TO BE INTERCONNECTED (SHALL BE WIRELESS INTERCONNECTED)
2. FIELD VERIFY LOCATION OF TELEVISION JACKS AND PHONE JACKS WITH OWNER PRIOR TO INSTALLATION
3. ELECTRICAL PANEL TO BE LOCATED BY ELECTRICIAN
4. ELECTRICAL CONTRACTOR TO INSTALL A U.L. LISTED DIRECT BURIAL CLAMP (OE-01-08) ONTO CONIT. FTG STEEL W/ #4 COPPER GROUND
5. ELECTRICAL CONTRACTOR TO INSTALL 110 OUTLET & 200 DISCONNECT IN ATTIC FOR A.H.U. 110 OUTLET TO BE WITHIN 24" OF UNIT
6. ALL 120V, 15AMP, AND 20AMP OUTLETS SHALL BE TAMPER RESISTANT RECEPTACLES, PER NEC 406.11
7. PROVIDE HIGH EFFICIENCY LAMPING FOR AT LEAST 50% OF LIGHTING FIXTURES
8. ALL 120V, 15AMP, 20AMP CIRCUITS IN ALL ROOMS SHALL BE PROTECTED BY A LISTED COMBINATION TYPE AFCI DEVICE EXCEPT KITCHEN, BATHROOM, OUTSIDE RECEPTACLES, BASEMENT OR SPECIAL DEDICATED CIRCUITS, PER NEC 210.12(B)
9. STANDARD ELECTRICAL FIXTURES TO BE 1' ABOVE BFC (2' FOR CHARLESTON COUNTY)
10. ALL ELECTRICAL LOCATED BELOW FLOOD ELEVATION TO COMPLY WITH R322.1.6 IN THE IRC 2015 OR THE APPLICABLE CODE IN THE NEC 2014, WHICHEVER SUPERCEDES
11. VERIFY TYPE & LOCATION OF WATER HEATER & INSTALL NECESSARY ELEC. COMPONENTS

DESIGN CRITERIA:

1. 2 STORY MULTI FAMILY STRUCTURE
2. LOCATED IN THE CITY OF CHARLESTON
3. PROPERTY IS LOCATED IN AN AE12 FLOOD ZONE
4. SEE FRONT ELEVATION SHEET FOR BUILDING HEIGHT
5. PLANS TO COMPLY WITH 2015 IRC, IFGC, & IPC W/SC MODIFICATIONS
6. PLANS TO COMPLY WITH 2015 IRC & IMC
7. PLANS TO COMPLY WITH 2005 IECC
8. PLANS TO COMPLY WITH 2014 NEC

PRINTING INSTRUCTIONS:

Sheet size 11x17, print to 100% or no scaling.
Sheet size 24x36, print to 200%

New Leaf Residence

35 A,B,C,D Brockman Drive Charleston, SC

SQUARE FOOTAGE

Name	Heated Sq. Ft.	Unheated Sq. Ft.	Total Under Roof
Unit A 1st. Flr.	683 SF		
Unit A 2nd Flr.	575 SF		
Unit A Front Porch.		25 SF	
Unit A Ground Flr.		580 SF	
Unit A Total	1258 SF	716 SF	1974 SF
Unit B 1st. Flr.	660 SF		
Unit B 2nd Flr.	572 SF		
Unit B Front Porch.		39 SF	
Unit B Ground Flr.		580 SF	
Unit B Total	1252 SF	729 SF	1981 SF
Unit C 1st. Flr.	643 SF		
Unit C 2nd Flr.	535 SF		
Unit C Front Porch.		51 SF	
Unit C Ground Flr.		554 SF	
Unit C Total	1178 SF	705 SF	1883 SF
Unit D 1st. Flr.	683 SF		
Unit D 2nd Flr.	575 SF		
Unit D Front Porch.		25 SF	
Unit D Ground Flr.		589 SF	
Unit D Total	1258 SF	715 SF	1973 SF
Total Sq. Footage	4946 SF	2865 SF	7811 SF

SHEET LIST

1-CS	Cover Sheet
1-10	Ground Floor
1-11	First Floor
1-12	Second Floor
2-10	Ground Floor Elect.
2-11	First Floor Elect.
2-12	Second Floor Elect.
3-10	Roof Plan
4-10	Front & Rear Elevation
4-11	Left & Right Elevation
5-10	Sections 1 & 2
5-11	Sections 3 & 4
5-12	Section 5 & Details
FW	Firewall Details

ELECTRICAL LEGEND

OUTLETS	
	DUPLEX OUTLET
	GFI OUTLET
	RANGE / DRYER 220V OUTLET
	WATERPROOF OUTLET
	WATERPROOF & GFI OUTLET
	FLOOR OUTLET
	GARAGE OUTLET
	CATV (TELEVISION) OUTLET
	DIRECT WIRE APPLIANCE CONNECTION
SWITCHES	
	SINGLE POLE SWITCH
	THREE-WAY SWITCH
	FOUR-WAY SWITCH
LIGHT FIXTURES	
	CEILING FAN
	CEILING SURFACE MOUNT LIGHT
	RECESSED CAN LIGHT
	WALL SCONCE
	WALL SURFACE MOUNT LIGHT
	FLOOD LIGHT
MISC FIXTURES	
	CARBON MONOXIDE & SMOKE DETECTOR
	SMOKE DETECTOR
	EXHAUST FAN
	ELECTRICAL PANEL

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CREATING YOUR DREAMS



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Sheet Name
Cover Sheet

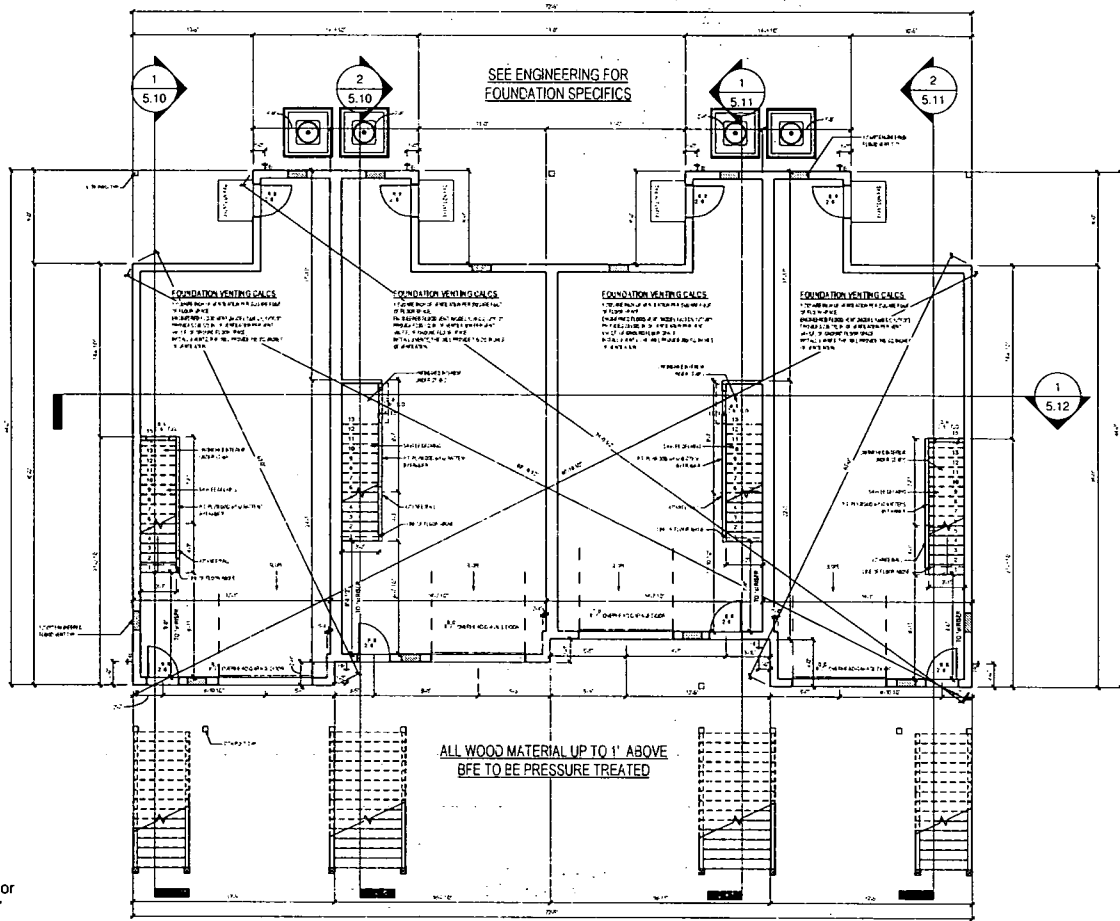
Project Name & Address
New Leaf
35 A,B,C,D Brockman Drive
Charleston, SC

Project #
CC1677

Date
12/05/2016

Scale
1/8" = 1'-0"

1-CS



1 Ground Floor
1/8" = 1'-0"

ROBERT CURRY
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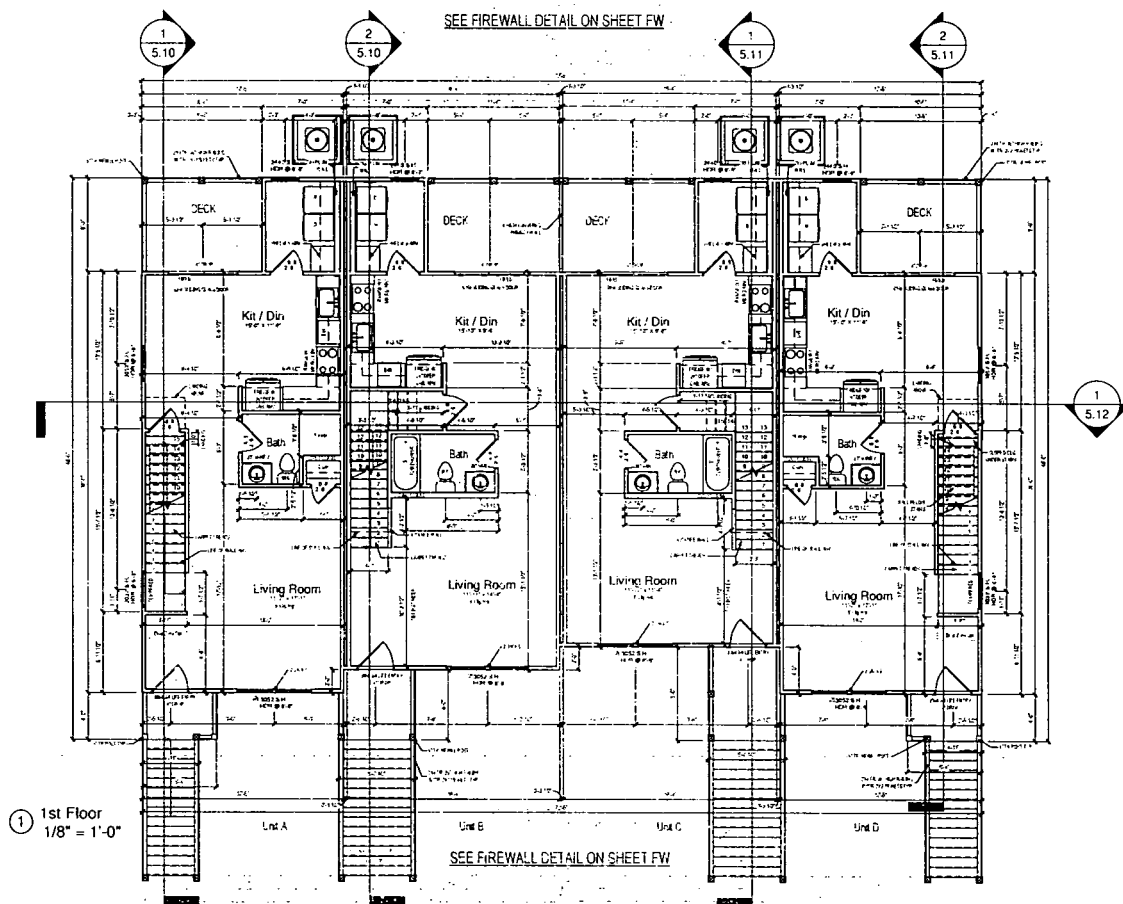


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 Designed Exclusively for: **New Leaf**

Sheet Name
Ground Floor

Project Name & Address
New Leaf
 35 A.B.C.D Brockman Drive
 Charleston, SC

Project #	CC1677	Sheet	1.10
Date	12/05/2016		
Scale	1/8" = 1'-0"		



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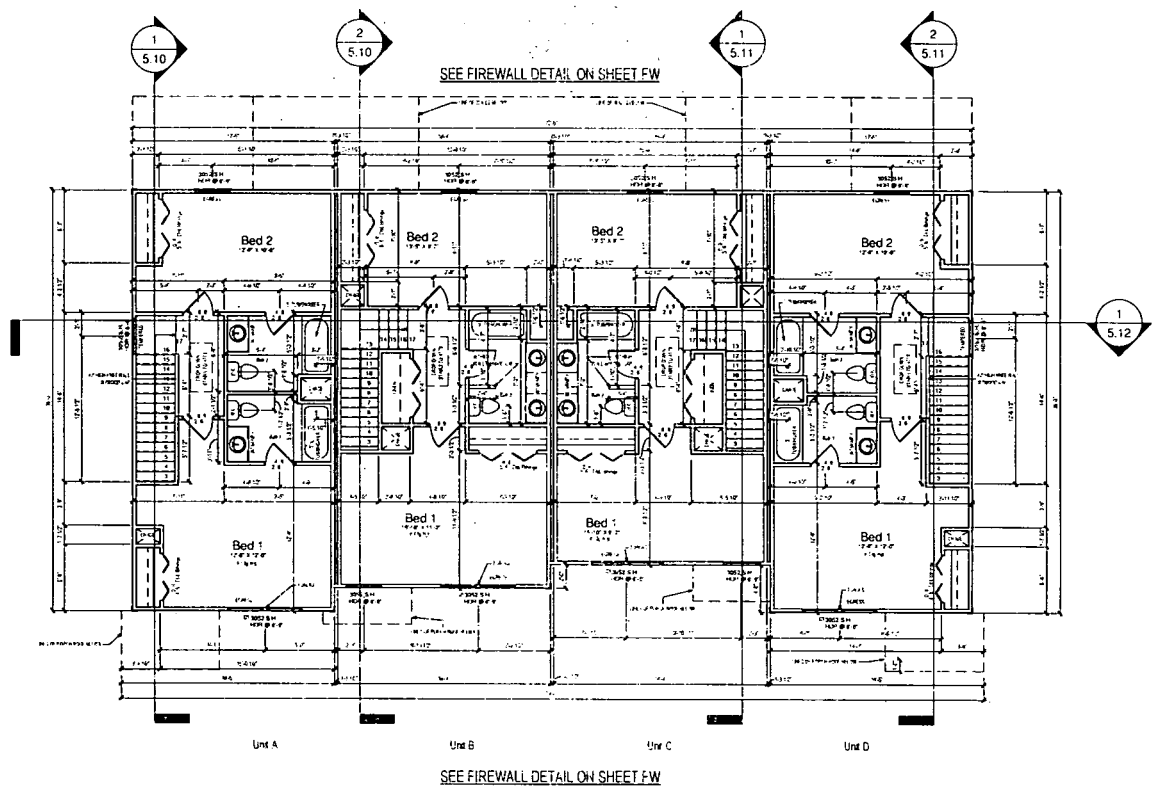
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New Leaf

Sheet Name
 First Floor

Project Name & Address
 New Leaf
 35 A, B, C, D Brockman Drive
 Charleston, SC

Project #	CC1677	Sheet	1.11
Date	12/05/2016		
Scale	1/8" = 1'-0"		



① 2nd Floor
1/8" = 1'-0"

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MOUNTAIN VIEW, OKLAHOMA
CREATING PERMANENT VALUE

**CROSBY
CREATIONS**
mountainview@croby.com

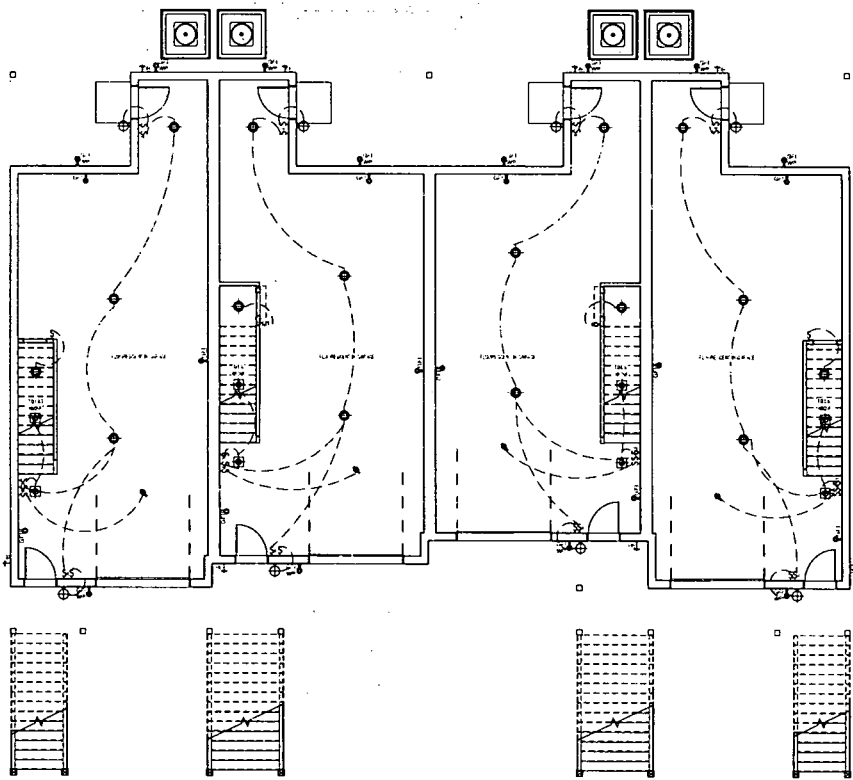
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Designed & Fabricated by:
New Leaf

Sheet Name
Second Floor

Project Name & Address
**New Leaf
35 A,B,C,D Brockman Drive
Charleston, SC**

Project #	Sheet
CC1677	1.12
Date	
12/05/2016	
Scale	
3/8" = 1'-0"	



① Ground Floor Electrical
 1/8" = 1'-0"

1000 CROSBY
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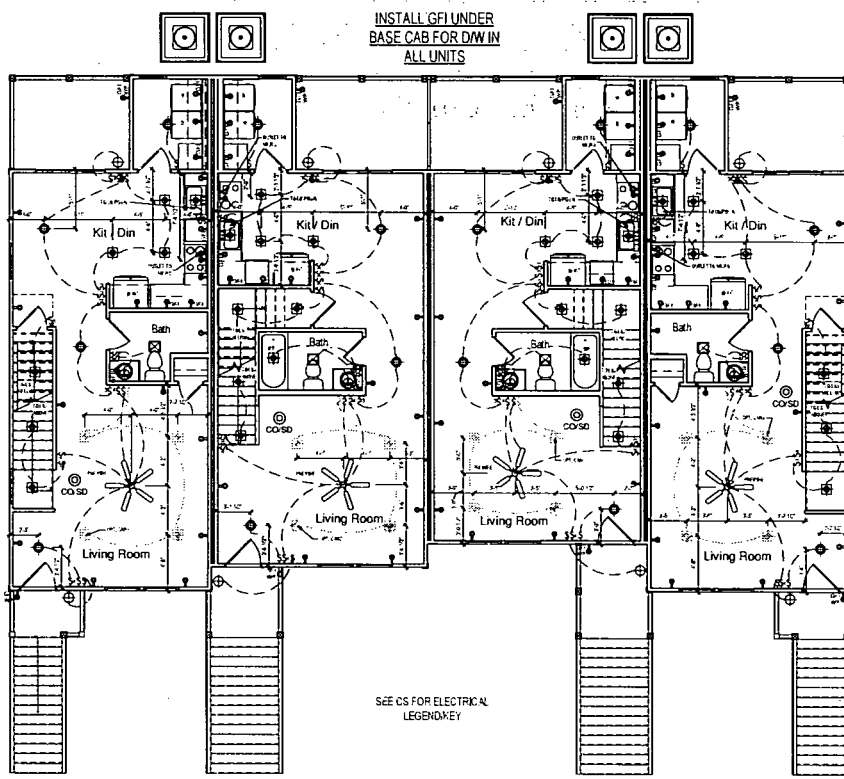


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 Josh Crosby 803.514.1164
 4130 W. Broadway
 www.crosbycreations.com josh@crosbycreations.com
 Chartered Electrical for
New Leal

Sheet Name
Ground Floor Elect.

Project Name & Address
New Leal
 35 A, B, C, D Brockman Drive
 Charleston, SC

Project #	Sheet
CC1677	
Date	
12/05/2016	2.10
Scale	
1/8" = 1'-0"	



INSTALL GFI UNDER
BASE CAB FOR DW IN
ALL UNITS

SEE CS FOR ELECTRICAL
LEGENDKEY

1 1st Floor Electrical
1/8" = 1'-0"

PORT CHARLOTTE
481.254.1354
1100 SOUTH MAIN ST
CHARLOTTE, NC 28203
www.crosbycreations.com
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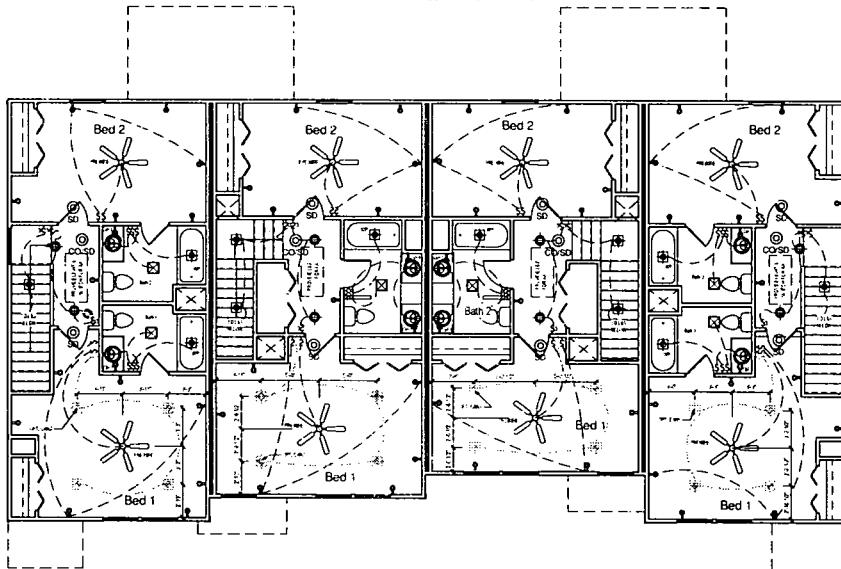


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Jana Crosby, B.S., D., D.P.A.
4770 N. University Blvd., Suite 100
www.crosbycreations.com | jana@crosbycreations.com
Designed Exclusively for: **New Leaf**

Sheet Name
First Floor Elect.

Project Name & Address
New Leaf
35 A.B.C.D Brockman Drive
Charleston, SC

Project #	CC1677	Sheet	2.11
Date	12/05/2016		
Scale	1/8" = 1'-0"		



SEE CS FOR ELECTRICAL
LEGENDRY

① 2nd Floor Electrical
1/8" = 1'-0"

DRS CREATIONS
411.211.7144
1000 W. BROADWAY, SUITE 200
CHARLESTON, SC 29401
WWW.DRS-CREATIONS.COM



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Julie Crosby 803.574.7356
4179 Highway 101, Suite 20444
www.crosbycreations.com crosby@crosbycreations.com

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New Leaf

Sheet Name

Second Floor Elect.

Project Name & Address

New Leaf
35 A,B,C,D Brockman Drive
Charleston, SC

Project #

CC1677

Sheet

Date

12/05/2016

2.12

Scale

20x11 = 1/8" = 1'-0"

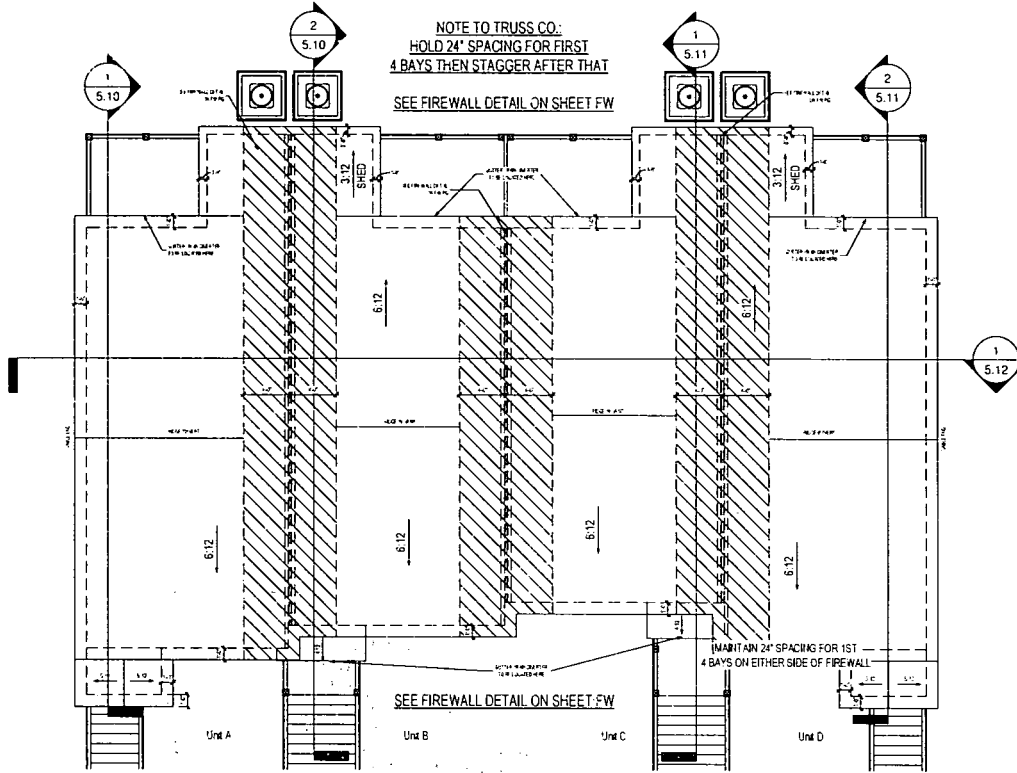
ROOF VENTING CALCS UNITS A & D:

683 s.f. of attic space
 683 / 150 = 5 s.f. (required ventilation)
 5 x 144 = 720 sq. inches (required ventilation)
 360 sq. inches of ridge vent required
 Install a minimum of 14 Linear Ft. of VenturiVent Plus ridge vent. This will provide 252 sq. inches of ventilation. Additionally, install 3 Master Flow roof vents. This will provide a total of 363 sq. inches of ventilation.
 360 sq. inches of vented soffit required. Install a minimum of 28 Linear Ft. of Universal Vinyl Basketweave vented soffit. This will provide 411 sq. inches of ventilation.

ROOF VENTING CALCS UNITS B & C:

660 s.f. of attic space
 660 / 150 = 5 s.f. (required ventilation)
 5 x 144 = 720 sq. inches (required ventilation)
 360 sq. inches of ridge vent required
 Install a minimum of 10 Linear Ft. of VenturiVent Plus ridge vent. This will provide 180 sq. inches of ventilation. Additionally, install 5 Master Flow roof vents. This will provide a total of 365 sq. inches of ventilation.
 360 sq. inches of vented soffit required. Install a minimum of 21 Linear Ft. of Universal Vinyl Basketweave vented soffit. This will provide 328 sq. inches of ventilation. Additionally, install 1 Master Flow 15" x 8" Aluminum under eave soffit vent. This will provide a total of 373 sq. inches of ventilation.

NOTE TO TRUSS CO:
 HOLD 24" SPACING FOR FIRST
 4 BAYS THEN STAGGER AFTER THAT
 SEE FIRE WALL DETAIL ON SHEET FW



1 Roof Plan
 1/8" = 1'-0"

HORI CRANE
 415-314-1184
 1700 W. BROADWAY
 CHARLESTON, SC 29405
 www.horiconsulting.com

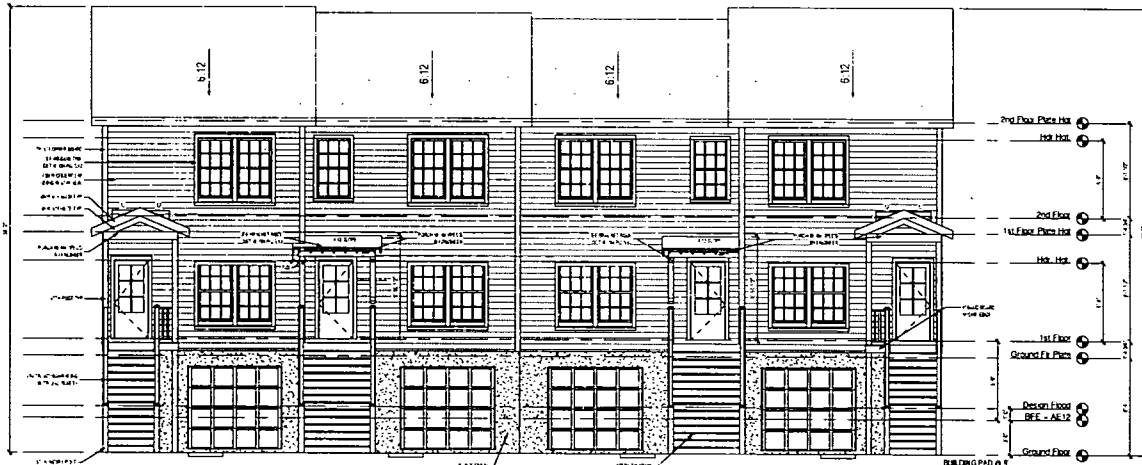


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 Lori Crosby 843.214.2734
 4379 W. Broadway
 www.crosbycreations.com
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 New Leaf

Sheet Name
Roof Plan

Project Name & Address
New Leaf
 35 A, B, C, D, Brookman Drive
 Charleston, SC

Project #
 CC1677
 Date
 12/05/2016
 Scale
 1/8" = 1'-0"
 Sheet #
3.10



① Front Elevation
1/8" = 1'-0"



② Rear Elevation
1/8" = 1'-0"

CROSBY CREATIONS
 4379 W. BROCKMAN DRIVE
 CHARLESTON, SC 29405
 803.734.1168
 WWW.CROSBYCREATIONS.COM

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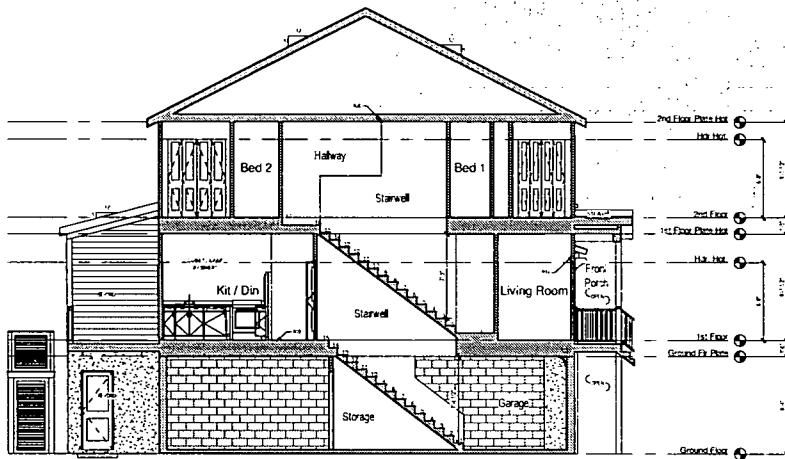
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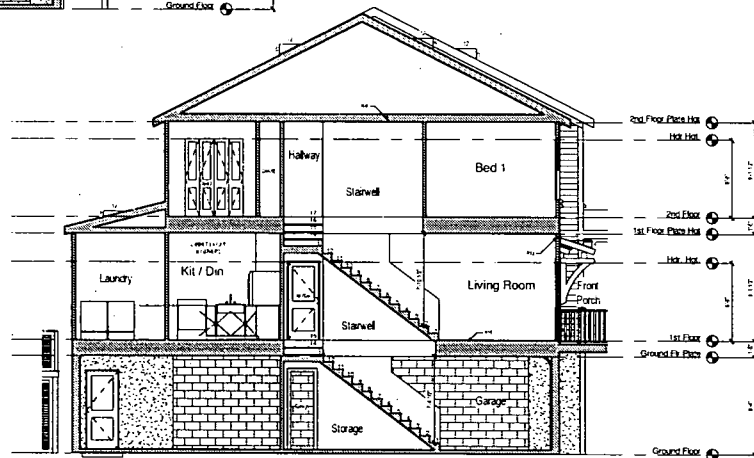
Sheet Name
Front & Rear Elevation

Project Name & Address
New Leal
 35 A,B,C,D Brockman Drive
 Charleston, SC

Project #	Sheet
CC1677	
Date	4.10
12/05/2016	
Scale	
1/8" = 1'-0"	



① Section 1
1/8" = 1'-0"



② Section 2
1/8" = 1'-0"

BURT CHAMBERS
444 S. 11th St.
Tulsa, OK 74106
www.burtchambers.com
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CHRISTOPHER HARRIS



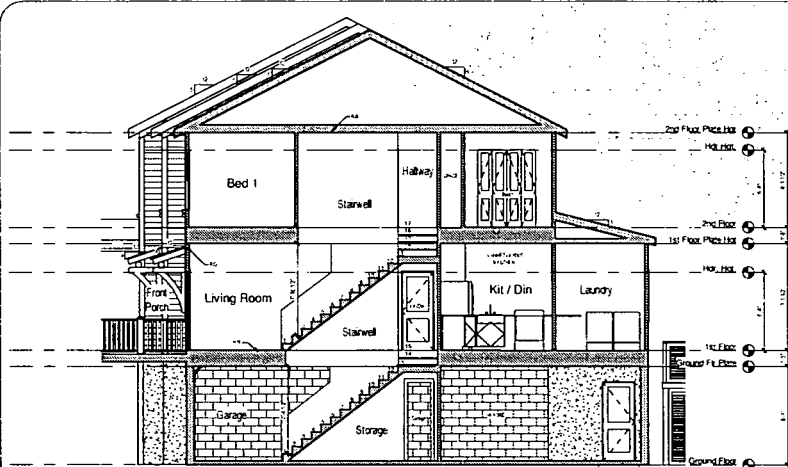
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Drafting & Design Services, LLC
Joel Crosby, B.S. in Architecture
4770 S. 10th St., Suite 100
Tulsa, OK 74106
www.crosbycreations.com
crosby@creations.com

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New Leaf

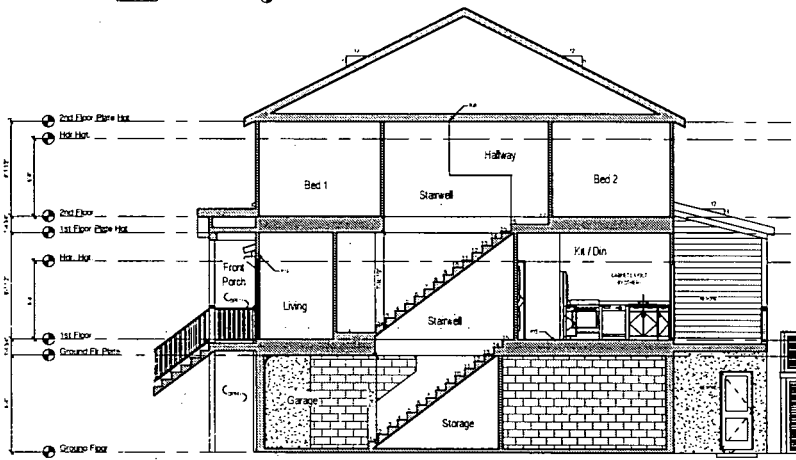
Sheet Name
Sections 1 & 2

Project Name & Address
New Leaf
35 A,B,C,D Brookman Drive
Charleston, SC

Project #	Sheet
CC1677	
Date	5.10
Scale	



① Section 3
1/8" = 1'-0"



② Section 4
1/8" = 1'-0"

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 411.314.4144
 1100 W. BROADWAY
 CHARLESTON, SC 29405
 www.crosbycreations.com
 278.437.1111

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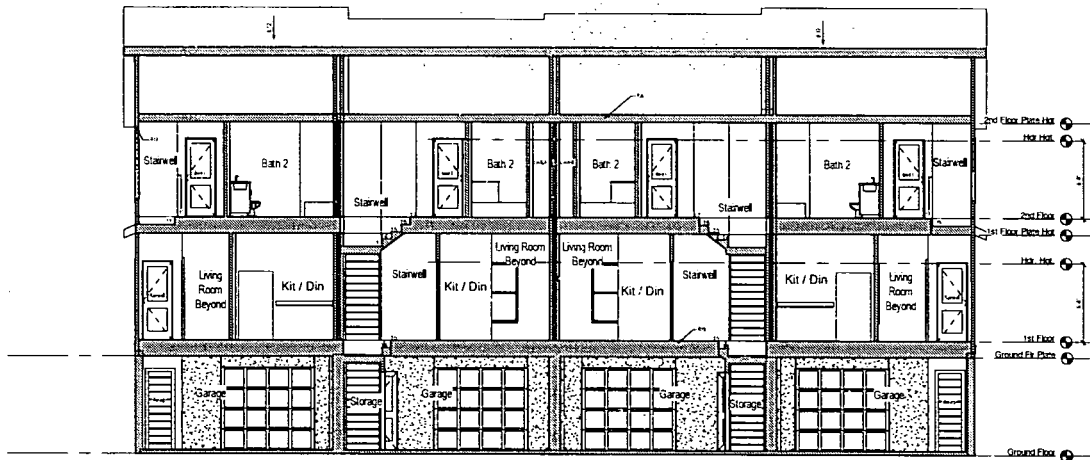
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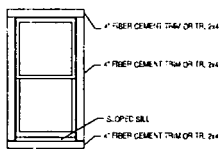
Sheet Name
 Sections 3 & 4

Project Name & Address
New Leaf
 35 A.B.C.D Brockman Drive
 Charleston, SC

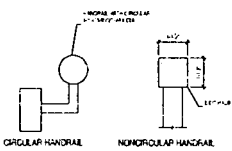
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Date	12/05/2016		
Scale			5.11



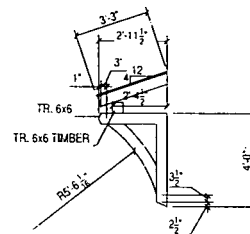
① Section 5
1/8" = 1'-0"



WINDOW TRIM DETAIL - FRONT ONLY
1/4" PICTURE FRAME ALL OTHER ELEVATIONS



CIRCULAR HANDRAIL
NON-CIRCULAR HANDRAIL



SHED ROOF & BRACKET DETAIL

BOB CRANEY
401 254 1168
CROSBY CREATIONS
1175 BROADWAY
CHARLESTON, SC 29403



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1175 BROADWAY
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www.crosbycreations.com crosby@crosbycreations.com

Designed & Drawn by
New Leaf

Sheet Name

Section 5 & Details

Project Name & Address
New Leaf
35 A, B, C, D Brookman Drive
Charleston, SC

Project #
CC1677
Date
12/05/2016
Scale
1/8" = 1'-0"

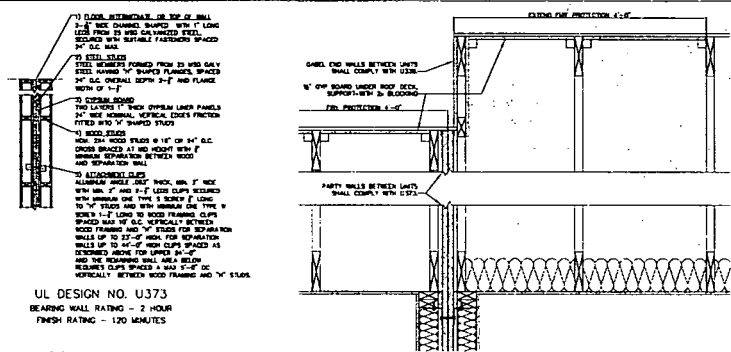
Sheet
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ERIC HARROD
 8400 BELLEVILLE STREET
 NORTH CHARLOTTE, NC 28140
 TEL: 848 870-8000
 EER@ERICHARROD.COM



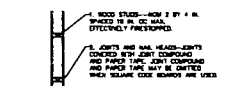
PELICAN COVE TOWNHOMES

PROJECT
 SCALE
 SHEET HISTORY
 DATE
 JULY 12, 2017
 DRAWING TITLE
 FW
 DRAWING NO.

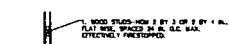


SECTION DETAIL
 CABEL WALL BETWEEN UNITS
 SCALE: 1-1/2" = 1'-0"

UL DESIGN NO. U373
 BEARING WALL RATING - 2 HOUR
 FINISH RATING - 120 MINUTES



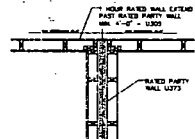
UL DESIGN NO. U305
 BEARING WALL RATING - 1 HOUR



UL DESIGN NO. U338
 BEARING WALL RATING - 1 HOUR
 FINISH RATING - 20 MINUTES

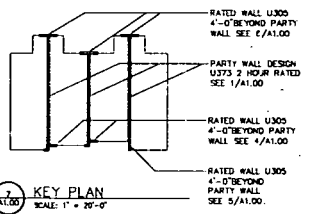
PLAN DETAIL A
 SCALE: 1-1/2" = 1'-0"

PLAN DETAIL B
 SCALE: 1-1/2" = 1'-0"

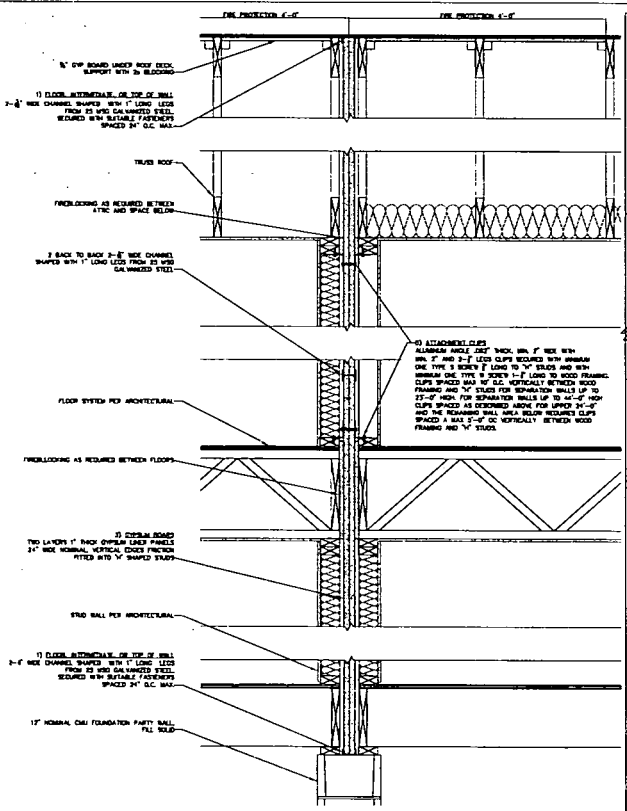


PLAN DETAIL C
 SCALE: 1-1/2" = 1'-0"

RATED WALL DETAILS
 SCALE: 1-1/2" = 1'-0"



KEY PLAN
 SCALE: 1" = 20'-0"



RATED WALL SECTION DETAIL
 SCALE: 1-1/2" = 1'-0"

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